

CHAPTER 14. OVERLAY DISTRICTS

ARTICLE A

10-14001. OVERLAY DISTRICT AUTHORITY

10-14002. PURPOSE AND INTENT

The City Council of East Point hereby declares it to be the purpose and intent of this resolution to establish a uniform procedure for providing for the protection, enhancement, preservation, unity of design, and use of places, sites, buildings, structures, streets, neighborhoods, and landscape features in the Main Street Architectural Overlay District in accordance with the provisions herein.

This resolution is adopted as part of a strategy designed to promote health, safety, order, prosperity, and general welfare of the citizens of East Point through the regulation of design, aesthetics, location, bulk, size of buildings and structures, and the density and distribution of population.

This resolution also seeks to reduce congestion on the streets; to provide safety from fire, flood and other dangers; provide adequate light and open space; protect the natural environment and address other public requirements, in order to provide sustainable development that involves the simultaneous pursuit of economic prosperity, environmental protection and social equality.

This resolution seeks, among other things, to promote accepted design principles in areas of new development and redevelopment, to raise the level of community understanding and expectations for quality in the built environment, to protect and enhance local aesthetic and functional qualities, and to stimulate business and promote economic development.

In consideration of the character of the Main Street Architectural Overlay District, these regulations are to monitor the suitability for certain uses, construction and design, prevent functional and visual disunity, promote desirable conditions for community and commerce and protect property against blight and depreciation

10-14003. DEFINITIONS

Words not defined herein shall be construed to have the meaning given in Article A of Chapter II of City of East Point Zoning Ordinance, or, by Webster's Eleventh New Collegiate Dictionary. The words "shall" and "must" are mandatory, and the words "may" and "should" are permissive. As used in this resolution, the following terms shall be defined as follows:

Appearance. The outward aspect that is visible to the public.

Appropriate. Fitting to the context of a site, neighborhood or community.

Architectural concept. The basic aesthetic idea of a structure, or group of structures, including the site, signs, buildings and landscape development that produces the architectural character.

Architectural feature. A significant element of a structure or site.

Attractive. Having qualities that arouse satisfaction and pleasure in numerous, but not necessarily all, observers.

Building. A building is a structure created to shelter any form of human activity, including but not limited to, a house, store, barn, church, hotel.

Certificate of endorsement (COE). A document evidencing support of a material change in the appearance of a property located within an overlay district by the person or board designated within an overlay district.

Cohesiveness. Unity of composition among elements of a structure or among structures, and their landscape development.

Compatibility. Harmony in appearance of architectural features in the same vicinity.

Designation or designated. A decision by The City Council of East Point, Georgia, wherein a property or district is declared an overlay district.

District. A geographically definable area urban or rural, small or large – possessing a significant concentration, linkage, or continuity of sites buildings, structures, and/or objects united by past events or aesthetically by plan or physical development.

External design feature. The general arrangement of any portion of structures or landscaping, including the type, and texture of the materials, the type of roof, windows, doors, lights, signs, and fixtures of portions which are open to the public view.

Exterior architectural features. The architectural style, general design and general arrangement of the exterior of a structure and site, including but not limited to the kind or texture of the building material and the type and style of all windows, doors, signs, facade, landscaping and other architectural fixtures, features, details, or elements relative thereto.

Geographic area. Land area subject to overlay district regulations.

Harmony. A quality that represents an attractive arrangement of parts, as in an arrangement of various architectural elements.

Landscape. Plant materials, topography and other physical elements combined in relation to one another and to structures including pavement.

Logic of design. Widely accepted principles and criteria in the solution of design problems.

Downtown Architectural Review Board. A panel which, when appointed by the City Council, consists of nine members appointed to consider applications within a specific overlay district.

Material change in appearance. A change in a structure or a parking lot within an overlay district that exceeds ordinary maintenance or repair (defined below), and requires either a sign permit, building permit or land disturbance permit such as, but not limited to:

1. The erection, alteration, restoration, addition or removal of any structure (including signs) or parking lot;
2. Relocation of a sign or building;
3. Commencement of excavation; or
4. A change in the location of advertising visible from the public right-of-way.

Ordinary maintenance or repair. Exempt from inclusion in "Material Change in Appearance" defined above. Ordinary maintenance or repair of any exterior of any structure, parking lot or sign in or on an overlay district property to correct deterioration, decay or damage, or to sustain the existing form, and that does not involve a material change in outer design, material, or appearance thereof. Painting, reroofing, resurfacing, replacement of a broken sign face and other similar types of ordinary maintenance shall be deemed ordinary maintenance and repair.

Overlay district. A geographically definable area, possessing a significant concentration or linkage of sites, buildings, structures, objects or landscapes, including the adjacent area necessary for the proper treatment thereof, united by plan and/or physical development. An overlay district shall further mean an area designated by the East Point City Council as such.

Overlay property. An individual site, structure, object or landscape, including the adjacent area necessary for the proper continuity thereof, contained within an overlay district.

Proportion. Balanced relationship of parts of a building, signs and other structures, and landscape to each other and to the whole.

Scale. Proportional relationships of the size of parts to one another and to humans.

Street hardware. Objects other than buildings that are part of the streetscape. Examples are: street light fixtures, utility poles, traffic lights and their fixtures, benches, litter containers, planting containers, fire hydrants, etc.

Streetscape. The appearance and organization along a street of buildings, paving, plantings,

street hardware and miscellaneous structures.

10-14004. CERTIFICATES OF ENDORSEMENT

Approval of alterations or new construction. Applicants for an East Point land disturbance permit, sign permit or building permit shall obtain a certificate of endorsement (COE) for applicable properties.

Guidelines and criteria for certificates of endorsement. Issuance of certificates of endorsement shall be based on the criteria of the City of East Point Zoning Ordinance along with other criteria adopted by the City Council.

Submission of plans. An application for a COE shall be accompanied by such drawings, photographs, material samples or plans as may be required pursuant to the overlay district provisions.

Interior alterations. Review of applications for endorsement shall not consider interiors or exterior features which are not visible from a public street.

Issuance of a certificate of endorsement.

- A. A COE may be issued when the proposed material change(s) in the appearance or arrangement of the elements of the project is consistent with the overlay district provisions.
- B. A copy of each final COE shall be maintained in the Department of Planning and Zoning.

Appeals. Appeals are to the Planning and Zoning Commission. Any appeal of a decision of the Planning and Zoning Commission is to Fulton County Superior Court.

Deadline for consideration of application for COE. The Main Street Board shall consider a completed application for a COE within 15 days after the filing thereof by the owner or occupant of an overlay district property. If the application has not been acted upon within 15 days, and the application shall be considered to be approved as submitted.

Relationship of this article to other zoning provisions. The adoption of an ordinance designating an overlay district, is an amendment to the existing Zoning Ordinance. Designation of an overlay district shall be shown as such on the official zoning maps of East Point, Georgia.

Sec. 10-14005. MAINTENANCE OF PROPERTIES BUILDING CODE AND ZONING PROVISIONS

Ordinary maintenance or repair. Ordinary maintenance or repair of any exterior feature visible from a public street in or on an overlay district property to correct deterioration, decay or damage, or to sustain the existing form, and that does not involve a change in design, material, or outer appearance thereof, does not require a building, sign, or land disturbance permit.

Failure to provide ordinary maintenance or repair. The owner or owners, or the owner's agent, of each designated overlay district property or site, shall keep in good repair all of the exterior portions of such property and site and all interior portions thereof which, if not maintained, may cause or tend to cause the exterior portion of such property or site to deteriorate, decay or become damaged or otherwise to fall into a state of disrepair. The Director of Planning and Zoning shall be responsible for the enforcement of the ordinary maintenance or repair provisions contained within this section.

Affirmation of existing building codes and zoning. Nothing in this resolution shall be construed to exempt property and business owners from complying with other existing city regulations whenever this article does not apply. This resolution is an amendment to the Zoning Ordinance and all other provisions of the Zoning Ordinance shall remain in effect unless provisions in the overlay district conflict with other provisions of the Zoning Ordinance, in which case, the stricter provisions shall apply.

Sec.10-14006. INTERPRETATION, VIOLATIONS, ENFORCEMENT AND PENALTY PROVISIONS

Violations. This article shall be governed by Chapter II, Article F, section 10-2172 of this ordinance.

Enforcement. This article shall be governed by section 10-2232 of this ordinance.

Penalty. Violation of this ordinance shall be punished as provided for by section 10-2173.

Severability. In the event that any section, subsection, sentence, clause or phrase of this resolution shall be declared or adjudged invalid or unconstitutional, such adjudication shall in no manner affect the other sections, subsections, sentences, clauses or phrases of this article which shall remain in full force and effect, as if the section, subsection, sentence, clause, or phrase so declared or adjudged invalid or unconstitutional were not originally a part thereof.

Conflicts. If the provisions of this article conflict with this resolution, or other ordinances, resolutions or regulations, the provisions of this article shall govern or prevail to the extent of the conflict.

Interpretation. This article shall be governed by section 10-2230 of this ordinance.

ARTICLE B. DOWNTOWN ARCHITECTURAL OVERLAY DISTRICT

Sec.10-14007. DOWNTOWN ARCHITECTURAL OVERLAY DISTRICT



Legend	
	Streets
	Railroads
	downtown_architectural_overlay

Downtown Architectural Overlay District



Sec. 10-14008. DOWNTOWN ARCHITECTURAL REVIEW BOARD

- A. The Downtown Architectural Review Board ("the Board") shall review plans for development in the District for compliance with standards herein and shall recommendations to the Department of Planning and Zoning prior to the approval of the Land Disturbance Permit or Building Permit.
- B. The Board shall consist of a nine members nominated by each council member and the Mayor, and approved by the City Council. Nominees need not to be residents of the ward represented by the nominating council member. Members shall serve a term to run concurrent with the appointing council member's term.
- C. Members of the Board must have either maintained a primary residence for at least one year in the City of East Point or have owned a business open for at least one year located within the Downtown Architectural Overlay District. In addition, Board Members should possess demonstrated knowledge, training and/or experience in at least one of the following areas: Architecture, landscape architecture, planning, zoning, real estate development, economic development, or related fields.
- D. Members of the Board will elect a Chairman, Vice Chairman, Secretary and Treasurer. Meetings will be conducted in accordance with the Robert's Rules of Order Newly Revised when not in conflict with the adopted bylaws of the Board. (Ord. No. 016-10 §8, 10-18-2010)

Sec. 10-14009. TRANSITIONAL YARDS BETWEEN USES

- A. *Transitional Uses.* Where a lot in this district abuts a lot in any residential district at the side along the same street frontage, and without an intervening street, such lot within this district, or the first 100 feet on such lot if it is wider than 100 feet, shall not be used for a service station.
- B. Transitional Yards
 - 1. Side yard: Commercial buildings adjacent to an residential district which shall not be used for the purpose of parking, paving, loading, servicing or any other activity and shall be planted and maintained as a landscaped strip.
 - 2. Rear yard: There shall be a rear yard of 20 feet when adjacent to a residential, district which shall not be used for the purpose of parking, paving, loading, servicing or any other activity and shall be planted and maintained as a landscaped strip.
 - 3. Screening: Where a lot in a CR district abuts a lot in a residential district on the side or

rear lot lines without an intervening street, permanent privacy fencing or screening not less than 6 feet in height shall be provided and shall be maintained in good condition.

4. Redevelopment: Any property wherein the principal building is removed for the purpose of the redevelopment shall be redeveloped in accordance with the requirements of this Section, and any paving or other accessory structural element within any required transitional yard shall be removed and buffers provided as required herein.

Sec.10-14010. DESIGN REVIEW PROCESS

The Downtown Architectural Review Board ("the Board") will insure that the purpose and meaning of the Downtown Architectural Overlay District is clearly represented. This will be achieved by providing guidance and recommendations on developments that are governed by Overlay regulations.

- A. Applications for a land disturbance permit and/or building permit shall be submitted to the Department of Planning and Zoning for properties within the Downtown Architectural Overlay District and shall be reviewed by the Board.
- B. The Board's overlay district meetings shall be advertised in the Overlay District geographic area.
- C. The Board review shall initially take place during the plan review process within the Department of Planning and Zoning.
- D. Buildings, site, structures, landscaping, and any other items relating to development of the site shall be reviewed for conformity with the standards established in this Article.
- E. The Board may recommend that an applicant request a variance to allow for adjustments to these standards.
- F. A public record shall be kept of all Board meetings and of the Board's resolutions, proceedings, findings and recommendations. Such record shall be maintained in such a place and manner as to allow public access.
- G. Nonconforming lots, uses, and structures shall come into compliance with these regulations pursuant to Article B 10-2017 *Nonconforming lots, uses and structures*, East Point Zoning Ordinance and Development Regulations. (Ord. No. 016-10 §9, 10-18-2010)

Sec. 10-14011. DEVELOPMENT STANDARDS

This section establishes standards for elements of the overall site and of the buildings which

affect the character of the district such as landscaping, fencing, building size, orientation, scale, setback, parking, building design, building material, building components, signs, and color.

Sec.10-14012.LANDSCAPING

Landscaping should be compatible in form, style and design with the natural setting and informal landscaping present in the area and on site before development. Landscaping should also be used as a buffer to screen a development from adjacent residential uses.

A. Streetscape and Landscape Strips

1. All properties shall provide a minimum ten (10) foot wide strip along all public street. The ten (10) foot-wide strip shall be planted with a minimum 2" to 3" caliper overstory tree. Additional overstory trees are encouraged. The ten (10) foot wide strip may be developed either:
 - a. With hardscape elements such as plaza, planters, benches, fountains and tables in addition to the required overstory trees, or
 - b. With landscape elements consisting of 60% coverage in trees and shrubs and 40% coverage in grass and ground cover, or
 - c. With a combination of both landscape and hardscape elements.
2. Trees shall be planted in the center of the landscape strip at a maximum distance of every thirty (30) feet.
3. Specimen trees, as described in the Tree Protection and Landscaping Ordinance, located within the minimum front yard shall be preserved.
4. A minimum five (5) foot wide strip shall be planted with grass or sod between the back of curb and the sidewalk.

Sec. 10-14013. SCREENING AND FENCING

Landscaping and fencing materials should be used to minimize visual and noise impact of parking, loading areas, and accessory site features.

- A. All loading areas shall be screened from view of any public street either: (1) a minimum six foot high opaque fence matching the material of the building or (2) a fifteen (15) foot wide landscape strip planted with a continuous hedge of evergreen shrubs. Shrubs shall be moderately growing, be a minimum height of 3 to 4 feet at time of planting, and reach a

height of six feet within two years of planting.

- B. All parking areas shall be screened from view of any public street by: (1) a 15 foot wide landscape strip planted to buffer standards or (2) a berm planted with a continuous hedge or evergreen shrubs. Plants shall be a minimum height of 3 to 4 feet at time of planting, and such plants (in the case of option 2 above, the berm and the planting combined) shall reach a height of six feet within two years of planting.
- C. Refuse areas (dumpsters) shall be placed in the least visible location from public streets and shall be enclosed on three (3) sides with opaque walls of the same exterior wall material used for the building. The remaining side shall be a self-closing gate made from noncombustible materials. Opaque walls shall be a minimum of 12 inches higher than the dumpster.
- D. Fencing Material and Height:
 - 1. Allowed fencing material shall be ornamental metal in yards adjacent to a public street.
 - 2. Fences shall not exceed four (4) feet from finished grade.
- E. Chain link fencing, except as required along detention/retention ponds, is prohibited.

Sec. 10-14014. PEDESTRIAN SAFETY

Construction of sidewalks and pedestrian amenities should encourage and promote walking to a development and within a development. The placement of sidewalks and pedestrian amenities should contribute to the sense of place of the community. Sidewalks shall be constructed along public road frontages and at least a five foot landscape strip shall be planted between the roadway or curb and the sidewalk. The sidewalk shall be set back from the back of curb the maximum distance allowable within the right of way.

Mandatory Requirements – Pedestrian Path Design Standards

- A. Proposed developments shall have a pedestrian network.
- B. Paths shall comply with any applicable Americans with Disabilities Act standards for slope, width, texture, level differences, and ramps.
- C. Paths shall be a minimum of five (5) foot in width.
- D. Paths shall be clearly identified (through painting, signage, texture change).

- E. In order to facilitate travel, paths shall not be obstructed by any object or structure.
- F. Paths shall be designed to minimize direct auto-pedestrian interaction.
- G. Paths shall be connected to signalized crosswalks, where applicable.
- H. Paths shall be a direct and convenient route between points of origin (such as a bus stop) and destination (such as a shop, bank, etc.) with the following exception: sidewalks and paths may meander to protect and maintain mature trees and other permitted landscape features. Meandering sidewalks are discouraged.
- I. Internal walkways (paths) shall be constructed connecting the public sidewalks along the street to the main entrance of the principal use of the property.
- J. Pedestrian paths shall be colored/textured walkways or sidewalks.

Encouraged Elements – Pedestrian Paths and Public Spaces

- A. To increase safety, grade separation is encouraged between pedestrian paths and motor vehicle access areas.
- B. Paths are encouraged to be built alongside interesting and inviting features. Street furniture is encouraged to be located adjacent to any path. Street furniture includes, but is not limited to, benches, pedestrian scale lighting, trash receptacles, and mailboxes.
- C. Community public spaces that promote gathering and have a park like design with streetscape and hardscape elements are encouraged.
- D. Paths are allowed to perpendicularly cross landscape strips.
- E. Granite curbing is preferred over other types of curbing.

Sec. 10-14015. SITE LIGHTING FOR PARKING LOTS, PEDESTRIAN PATHS, AND PUBLIC ENTRANCES

Lighting should be ample enough for safety and night viewing.

- A. Parking lot lighting shall meet the following minimum standards:
 - 1. Light posts shall not exceed a height of 20 feet from finished grade.
 - 2. Light posts shall have curved arms to focus light downward. Up to two (2) arms are permitted on a single post.

3. Parking lot light fixtures shall have the light cut off below 90 degrees and the beam shall be cut off at 75 degrees.
 4. Allowable post arm style shall be Shepherd's Crook.
- B. Pedestrian lighting shall meet the following minimum standards:
1. Light posts shall not exceed a height of 15 feet from finished grade.
 2. Allowable post styles are pole-top, bollard, and Shepherd's Crook.
- C. Posts shall include a taper, either in their transition downward from post to decorative shaft (base), or upward to ballast housing, or both.
- D. Prohibited styles: Shoe box and cobra styles.
- E. Building mounted lights fixtures shall have a 45-degree light cut-off.
- F. All exterior lighting in publicly accessible locations shall be architecturally decorative with a historic style.
- G. Neon lighting is prohibited.
- H. Light housings and posts shall be a dark color/material and be non-reflective.
- I. Exterior lighting shall not exceed two (2) foot candles.

Sec. 10-14016. BUILDING SIZE, ORIENTATION, SETBACK, HEIGHT, SCALE AND PARKING

The design and layout of a development should build upon and complement the design of the current district as opposed to creating a new one. The size, orientation, setback and scale of buildings are integral elements in the district. A building's orientation and placement should complement and relate to adjacent buildings, structures and properties. The placement of buildings should create an informal grouping and relationship between them as opposed to being orderly and uniform. The visual impact of parking should be minimized by placing it to the rear and by screening.

A. Orientation:

1. All buildings shall be oriented to a public street. An entrance to a building should be located on the side of the building facing a public street.

2. Driveways shall be perpendicular to the street.

B. Scale:

1. For every forty (40) feet of building length on a single face, there shall be a variation in the exterior. This exterior variation shall be accomplished through the following means:
 - a. For each forty (40) feet of building exterior wall, the building exterior and roof shall be offset by a minimum of ten (10) feet. Overhangs and roof lines shall follow the building's location.
 - b. For each forty (40) feet of building exterior wall, there shall be a change in details, or patterns or materials.

C. Parking:

1. Parking shall be shared among users with a common development. Parking shall be reduced according to the shared parking standards established in Article E of the East Point Zoning Ordinance. Additional reduction in the number of parking spaces is encouraged.
2. All parking spaces built, which exceed the minimum number required by the East Point Zoning Ordinance, shall be constructed of pervious material.
3. If an internal street is developed for use by the general public, one row of parallel parking is allowed between the street and the curb.

Sec.10-14017. BUILDING AND OTHER STRUCTURE DESIGN

Construction of buildings shall complement the Victorian, Arts and Crafts and American Craftsman architectural periods. Buildings shall reflect a specific style and not mix elements of different styles. The design and architectural elements of the buildings should be compatible to those of the area.

A. Buildings

1. Buildings shall have main street characteristics.
2. Drive-thru and drive-in facilities for eating and drinking establishments

are prohibited. (Ord. No. 015-12, 10/10/2012)

B. Building Colors

1. Paint colors shall be chosen from the range of traditional colors on the acceptable colors listed below.



Roycroft Vellum
SW 2833



Birdseye Maple
SW 2834



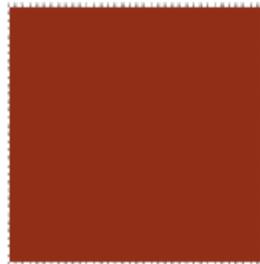
Craftsman Brown
SW 2835 F1



Quartersawn Oak
SW 2836



Hammered Silver
SW 2840



Roycroft Copper Red
SW 2839



Polished Mahogany
SW 2838



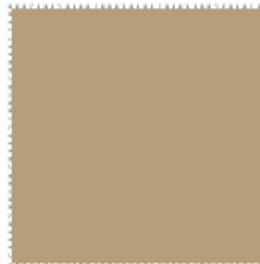
Aurora Brown
SW 2837



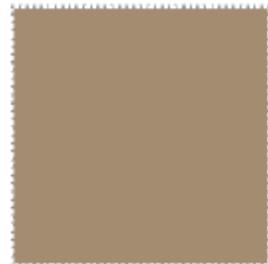
Roycroft Mist Gray
SW 2844



Roycroft Brass
SW 2843



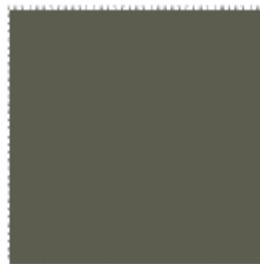
Roycroft Suede
SW 2842



Weathered Shingle
SW 2841



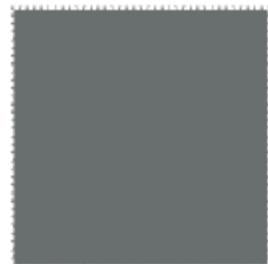
Bunglehouse Gray
SW 2845



Roycroft Bronze Green
SW 2846



Roycroft Bottle Green
SW 2847



Roycroft Pewter
SW 2848



Sec. 10-14018. SEVERABILITY

In the event that any section, subsection, sentence, clause or phrase of this Article shall be declared or adjudged invalid or unconstitutional, such adjudication shall in no manner affect the sections, subsections, sentences, clauses or phrases of this Article, which shall remain in full force and effect, as if the section, subsection, sentence, clause, or phrase so declared or adjudged invalid or unconstitutional were not originally a part thereof.

ARTICLE B. CLEVELAND AVENUE OVERLAY

Sec. 10-14019. INTENTION

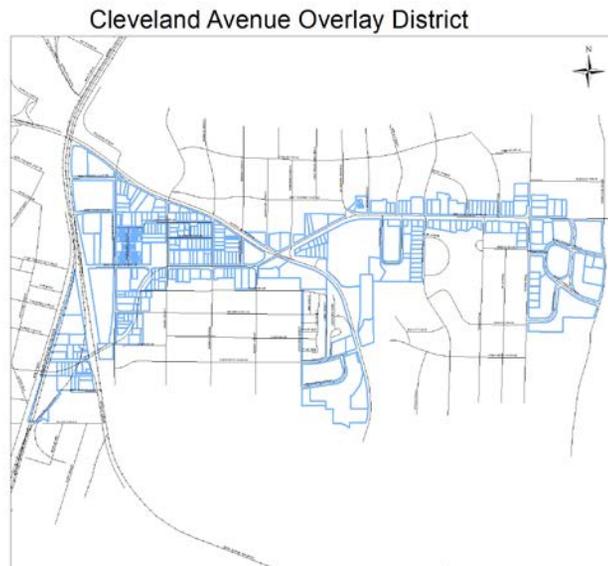
The purpose of the design guidelines is to promote future development that is consistent with the Cleveland Avenue Corridor Masterplan. Generally, these design guidelines are intended to support local and regional development goals that promote alternative transportation, mix of uses, pedestrian environments, traffic calming, active living, and greenspace.

Additionally, providing safe and comfortable environments for people involves incorporating CPTED (Crime Prevention Through Environmental Design) strategies designed to provide 'eyes on the street' and to remove opportunities for crime inherent in the building or site design.

These guidelines are intended to be implemented as an Overlay District based on the Cleveland Avenue Corridor Overlay District Map. Overlay Districts are supplemental to the zoning district classifications established in the City of East Point's Municipal Code. All development and building permits for lots located within any overlay district shall meet all of the requirements of the base zoning district in which they are located and in addition, shall meet all of the requirements of the overlay district applicable to the particular parcel. Where there are conflicts between overlay district regulation and other regulations contained in this Code, the overlay regulation shall govern. Where the overlay district regulation is equally restrictive with other regulations in the Code, the overlay district regulation shall govern.

The following guidelines are organized into two major classifications:

Sec. 14019.1 EXHIBIT C. CLEVELAND AVENUE OVERLAY DISTRICT MAP (Ord. No. 017-11, 08/01/2011)



Sec.10-14020. PUBLIC FRAMEWORK

The public framework consists of 1) Street Features; 2) Parks and Trails; 3) Gateways and is generally comprised of elements that are accessible to the public and located within the public right-of-way.

Sec.10-14021. PRIVATE FRAMEWORK

The private framework consists of six major development types: 1) single-family residential; 2) townhomes; 3) apartments (multi-family); 4) retail mixed-use; 5) office; 6) 'big-box'.

All new development, or redevelopment that exceeds 50% of property value or 50% of site that is being redeveloped, within the overlay district must establish sidewalk zones, street trees, streetlights, crosswalks, street features, and street furniture according to the guidelines of the overlay. See 'Street Features: Specifications' as well as *Site Diagrams* within each Private Framework section for details.

Sec.10-14022. PUBLIC FRAMEWORK

A. Street Features

The street is the primary public domain and front door for private development. Careful consideration of the design of the following street features is important for enhancing the experiential quality of the corridor: Medians, Crosswalks, Bulb-outs, Wayfinding, Lighting, Traffic Circles, Street Paving, Sidewalks, Street Furniture, Public Art, Plazas, Utilities, Street Trees and Plantings

B. Parks and Trail Systems

Parks and trail systems promote both active and passive recreation throughout the corridor. They provide opportunities for physical activity and allow users to appreciate the natural environment. The design guidelines provide recommendations for the following: Pocket Parks, Linear Parks, Neighborhood Parks, Trail Systems

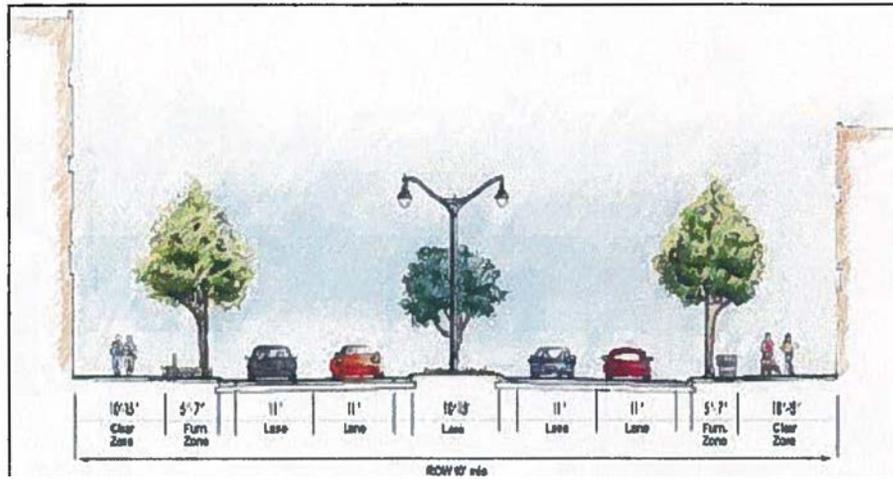
C. Gateways

Gateways provide opportunities for pedestrian amenities, such as bus shelters, and create focal points for neighborhood or district entrances. There are three types of public gateways: City Gateways, District Gateways, Neighborhood Gateways

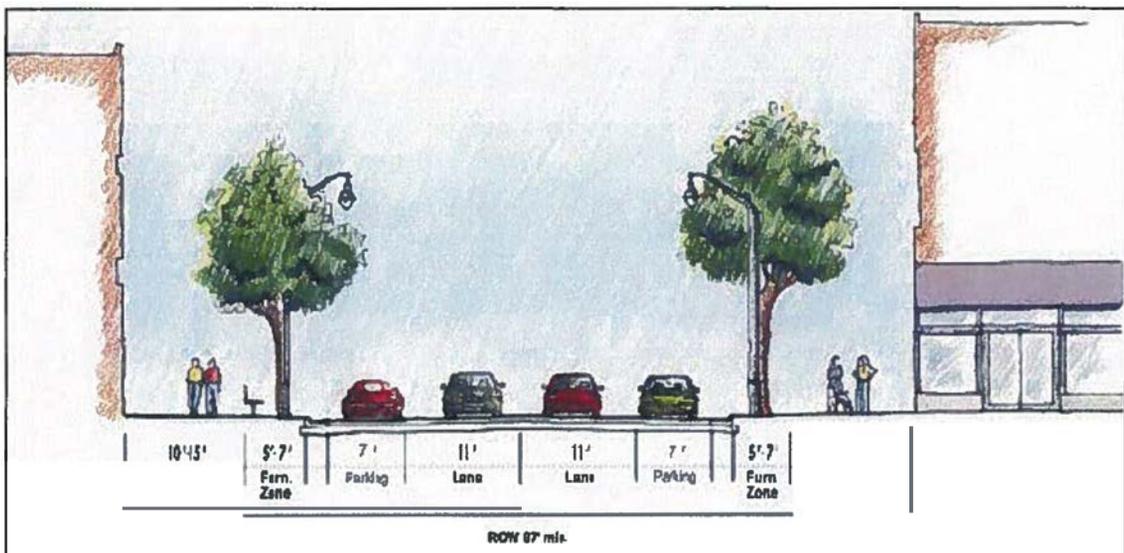
Street Features

STREET TYPES

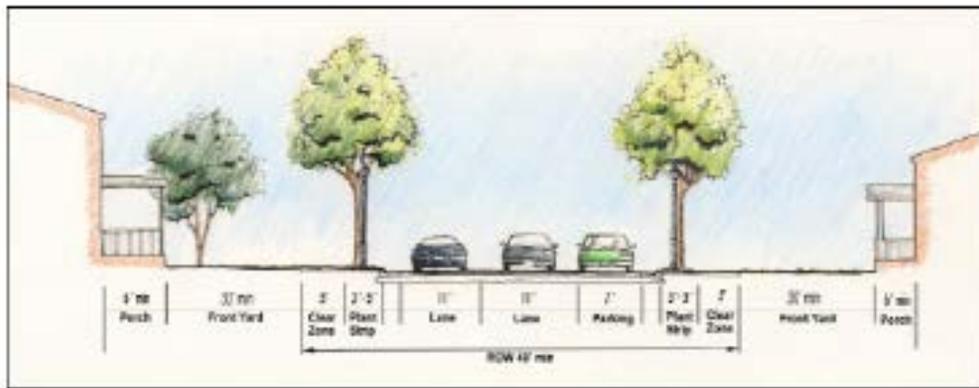
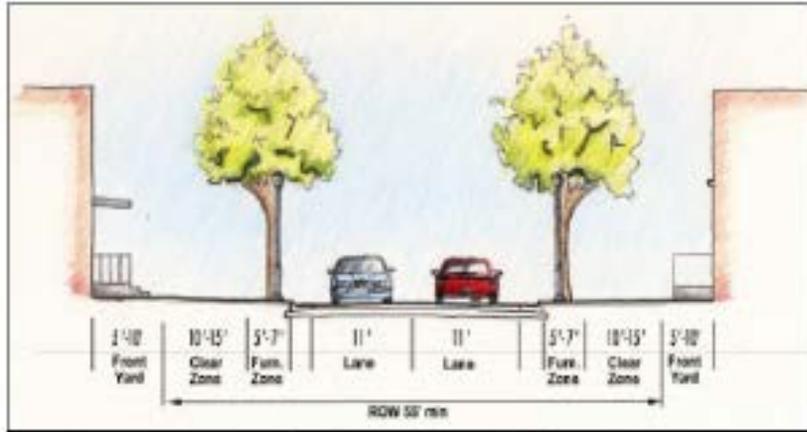
Boulevard:



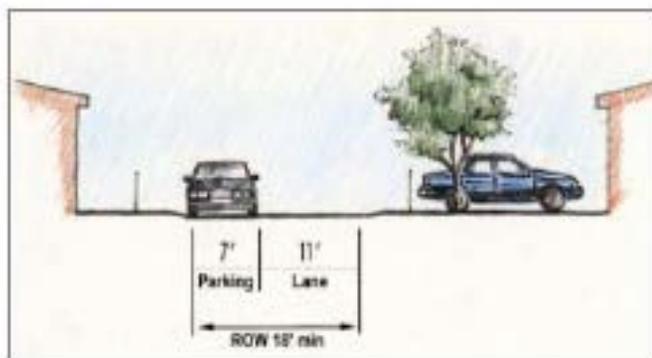
Secondary Streets:



Residential:

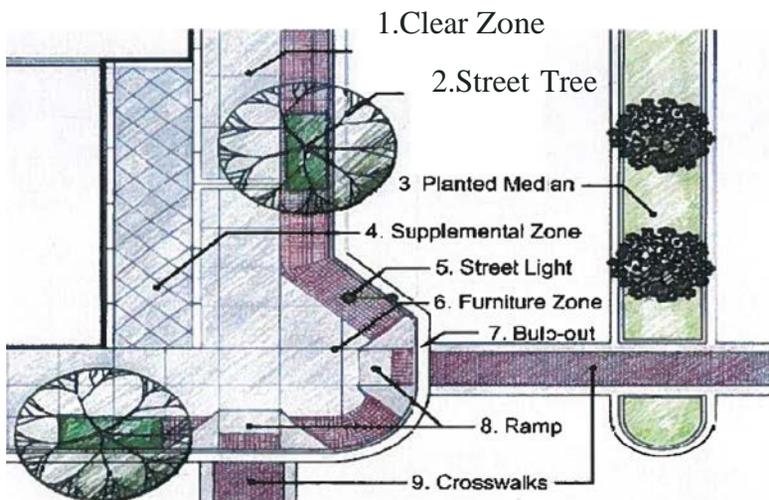


Alleyway:



Sec.10-14023. DEFINITIONS

1. Bulb-Out - Where possible, bulb-outs allow shorter distances for pedestrians to cross major streets. Parallel parking is located behind bulb-out.
2. Clear Zone - Public area in the front setback that makes up the active sidewalk.
3. Crosswalk - Visual and textural variation at crosswalks distinguish pedestrian crossings and enhance experience.
4. Furniture Zone - Area between back of curb and property line that contains street trees, street lighting, bike racks, newspaper stands, benches, and utilities.
5. Planted Median- Sod, groundcover, as well as ornamental trees (where median width is great enough), are planted to add visual interest, slow traffic, and provide a refuge zone for pedestrian crossing along the boulevard.
6. Ramp - Handicap accessible ramps are located where crosswalks meet curbs. ADA compliant detectable warning pavers should be installed at front of ramping area.
7. Street Light - Street lighting adds visibility and safety and is interspersed with pedestrian scale lighting. The pattern adds to continuity of the boulevard.
8. Street Trees- Broad canopy trees for shade and continuity, should be trimmed to 7' clear height and kept from conflict with overhead lines.
9. Supplemental Zone - Generally referred to as front yard, within private property. Provides an opportunity for a public zone for dining areas or outdoor plazas.



Street Features



Trash Receptacle:
Ashebrooke
Receptacle in Raven
BRP Enterprises



Bollard:
Elements Bike Bollard
Post in Raven by BRP
Enterprises



Bike Rack:
Manchester Bike Rack in
Raven by BRP Enterprises



Bench:
Cityview Cast End Bench in
Black by Sitescapes



Pedestrian Light:
McGraw-Edison
Luminaire
Generations Avenue
Cutoff (GAT-C) in
Black
Pedestrian Light - 12'

Overhead Light:
King Luminaire
K829 Aurora
Luminaire
Double or Single Arm
Black - 25'

	Furniture Zone	Clear Zone	Supplemental Zone/ Front Yard	Street Lighting	Street Trees
Cleveland Avenue (Boulevard)	5-7'	10-15'	Varies	Ped/Ov	Overstory
Secondary Streets	5-7'	10-15'	0-30'	Ped/Ov	Mixed Canopy
Residential Street	3-7'	5-15'	5-35'	Ov	Mixed Canopy

* Tree pits a minimum of 8' x 12', underplanted with air type groundcover
* Low- to Mid- Canopy trees to be planted under existing power lines

Approved Overstory

Tree Species:

- Alex Elm
- Lacebark Elm
- Zelkova
- Red Maple
- Nuttall Oak
- Shumard Oak
- Legacy Maple

12' height and 4"
caliper minimum

**Approved Mid-
Canopy Tree
Species:**

- Trident Maple
- Eastern Redbud
- Flowering Dogwood
- Crape Myrtle
- Yoshino Cherry
- Flowering Crabapple

9' height and 3"
caliper minimum

Sec.10-14024.

GUIDELINES A. Medians:

Purpose

Medians allow for space between traffic in opposite directions to ensure safety of drivers and pedestrians. Medians also provide a place for public art or gardens.

B. Application

1. Should be well defined with a curb.
2. A continuous pattern of trees or landscape should tie each median together visually.
3. The medians may also include other elements such as fountains, artwork or gardens.

C. Crosswalks, Curbs and Curb Ramps:

Purpose

Crosswalks, curbs and curb ramps allow pedestrians to safely cross the street while also providing for proper street drainage.

Application

All crosswalks will be prominently defined and adhere to ADA standards by use of one or more of the following:

1. Pavers or textured and painted asphalt that imitates pavers.
2. Raised crosswalks.
3. Electrical crossing signals.
4. If the crosswalk is not raised, a curb ramp down to street level must be created in accordance with ADA standards.
5. All areas that have a sidewalk must also have a curb.
6. Curbs shall allow proper drainage while at the same time delineate the street from adjacent elements such as the sidewalks and medians.
7. Curbs shall be no higher than 6" to allow people to easily step up or down when necessary.

Bulb-outs and On Street Parking:

Purpose

Bulb-outs (curb extensions) are encouraged at intersections to reduce pedestrian crossing distance and to discourage speeding through intersections.

Application

1. Bulb-outs can be used to separate and define on-street parking areas as well as provide opportunities for landscaping.
2. Mid-block curb extensions allow for safer mid-block crossing for pedestrians.

Lighting:

Purpose

Proper illumination provides for a safe visibility for vehicles and pedestrians in dim or dark conditions. Lighting is a key element in safety and perception of safety for pedestrians. CEPTED (Crime Prevention through Environmental Design) guidelines suggest that proper lighting is a key component of crime prevention. In addition, lighting may highlight special street features such as trees, art, or fountains for an enhanced visual experience.

Application

STREET LIGHTING:

1. Shall aesthetically complement the design of the street features and surrounding development.
2. Shall be at a pedestrian scale as well as service vehicles.
3. Should complement the architecture and scale of the redeveloped Cleveland Avenue corridor.
4. Shall be located at the same distance from the street edge along the length of the street.
5. Shall be integrated with all other streetscape elements including trees, benches and paving.
6. Luminaries shall be translucent or glare free.
7. All areas adjacent to residential zones shall use diffusers and refractors.
8. Light poles shall be a minimum of 15' away from street trees.

Preferred Fixture: Generation Series Avenue, Light Fixture by McGraw-Edison

SPECIAL EFFECTS LIGHTING

1. White string lighting in trees or the up-lighting of trees are permitted and encouraged in the street furniture zone.
2. Light fixtures shall blend in with the surroundings.
3. Light fixtures shall be placed in the street furniture zone.
4. Light fixtures shall be waterproof.
5. Light fixtures shall not interfere with the vision of the pedestrian or vehicular traffic.

Traffic Circles:

Purpose

Traffic circles allow for traffic calming without stopping the flow of traffic. Traffic circles also provide a place to feature public art, fountains, monuments or landscaping.

Application

1. The traffic circle should naturally cause the traffic to slow without the use of traffic lights.
2. Traffic circles should be clearly and simply designed.
3. Traffic circles may employ paving to delineate it from the rest of the street.
4. The center of the traffic circle should feature art and/or be landscaped/ hardscaped.

Street Paving:

Purpose

Allows for smooth driving surfaces while simultaneously delineating areas for pedestrian use.

Application

1. Along the busiest pedestrian routes, special street paving may be employed in part or sum.
2. Pavers should be of the same design and color throughout the corridor. Stamped concrete may be used as a substitute for pavers.
3. In general, they should not be raised above street level (except for raised crosswalks).
4. The area of special paving should be clearly delineated by borders.

Sidewalks

: Purpose

Sidewalks allow for pedestrian access along the corridor and to the various uses in the corridor. Sidewalks also provide a place where the public and private interact and transition from one to another through such venues as outdoor dining, bus stops, etc.

Application

To provide a smooth transition, sidewalks within twenty feet of a residential district shall taper to five feet wide. Residential, mixed-use, business or commercial district sidewalks shall be divided into three zones:

Supplemental Zone- This zone (also known as a front yard) is adjacent to the primary building elevations and may be 0'- 25' feet wide. Uses for the supplemental zone include outdoor eating areas, potted plants, or store/business amenities such as sandwich boards.

Clear Zone – This zone is adjacent to the supplemental zone and shall be between 5' - 15'. The zone shall remain open at all times for pedestrian circulation.

Street Furniture Zone (or Planting Strip in residential areas)- This zone is adjacent to the curb and shall provide a place for all street furniture.



Supplemental zone with outdoor dining (left), clear zone (middle) and street furniture zone (right)

Street

Furniture:

Purpose

The street furniture zone provides a place for the varying public uses of the corridor such as bicycle parking, seating, bus shelters, trash receptacles, newspaper racks and bollards.

Application

BICYCLE RACKS

1. Permanently affixed in prominent locations throughout the corridor to encourage bicycle use.
2. Shall be placed so that all bicycles are completely in the street furniture zone.
3. Shall be well-designed and rust proof.
4. Minimum of one bicycle space for every twenty automobile spaces.

*Bike Rack by **BRP Enterprises***

SEATING, BENCHES

1. Should be grouped as much as possible and located along identified pedestrian nodes.
2. Planters designed for seating along the edge are permitted.
3. Should be well designed to blend in with other surroundings.
4. Benches should be free from advertising signage.
5. Seating for open air eating shall be placed in the supplemental zone and should be designed to blend well with the surroundings.
6. Umbrellas for open air eating may only bear the name of the cafe or restaurant.

*6' Bench by **Sitescapes***

BUS SHELTERS

1. Bus shelter locations shall be coordinated with mass transit stops and placed within the street furniture zone.
2. Bus shelter design should be complementary to other street furniture elements and utilize glass for visibility.
3. Bus shelters should be free from advertising or designed to allow minimal advertising that does not interfere with visibility or detract from aesthetics.

TRASH RECEPTACLES

1. Shall be placed by every seating area and significant gathering places.
2. Shall be permanently affixed.
3. Shall have a top to keep contents relatively dry.
4. Restaurants with outdoor seating shall provide additional trash receptacles near seating.
5. These shall not be permanent, but shall not be easily moved.

*Trash Receptacle by **BRP Enterprises***

BOLLARDS

1. Should be designed to complement the streetscape.
2. Shall allow parked car doors to be fully opened without obstructing the swing by being set back from the curb.
3. May be chained together for the safety of the pedestrian.
4. Removable bollards shall be used for admittance of service vehicles along primary elevations.

*Bollard/Bike Rack: **Elements Bollard** by **BRP Enterprises***

NEWSPAPER RACKS

1. Should be grouped together.
2. Shall not compromise the safety of vehicles by obstructing the view.
3. Shall be completely in the street furniture zone.
4. Should complement other street furniture elements.

Public Art:

Purpose

Public art is used to activate spaces in the public realm and transform them into markers or destinations.

Application

1. Should tie into the history of East Point or specifically Cleveland Avenue.
2. When possible, should come from a local artist.
3. May include water, seating, planting, decorative architectural elements or plaza space.
4. Shall not impair pedestrian circulation or vehicular traffic.
5. Shall be well crafted and made of durable weatherproof materials.
6. Shall be consistent with the redevelopment plan.
7. Shall be appropriate for all ages.

Plazas:

Purpose

A plaza is a public gathering place that typically serves a building or group of buildings. A plaza can also act as a district gateway or center and provides opportunities for everyday activity as well as special events.

Application

1. Plazas shall be accessible to all pedestrians and ADA compliant.

2. Plazas shall be constructed to provide for the safety of the users through use of windows and doors into the plaza as well as street frontage where appropriate.
3. Plazas shall be properly lit to provide for the safety of the users.
4. Plazas are encouraged to include public art, fountains, moveable furniture, and landscaping.



Landscaped plaza with seating and shade

Utilities:

Purpose

Utilities provide for the safe and efficient use of the corridor.

Application

1. All electrical wiring shall be underground.
2. Utility boxes, meters, manhole covers and fire hydrants shall coordinate with street furniture.

Street Trees:

Purpose

Street trees provide for the physical and physiological health of the community and environment. Street trees also identify and delineate areas within the corridor.

Application

1. Trees shall be planted in the street furniture zone.
2. Trees shall be planted a distance of 40' apart.
3. Trees shall be a minimum of 15' away from light poles.
4. Tree planting pits shall be used in all high pedestrian traffic areas.
5. Tree planting pits should have an outlet to allow for special lighting such as string lights or up lighting.
6. If overhead power lines remain, street trees shall be planted that will not interfere with the power lines, either through chosen species or placement.
7. Tree grate of 5' x 12' in special plazas.
8. Tree grates shall be made of ductile iron and be factory painted. They shall allow for tree growth.
9. Recommended street trees species include: Allee Elm, Dynasty Elm, Zelkova, October Glory Red Maple, Legacy Sugar Maple, Shumard Oak

Recommended street tree species: Allee Elm, Dynasty Elm, Zelkova, October Glory Red Maple, Legacy Sugar Maple, Shumard Oak

Landscaping and Planters:

Purpose

Landscaping and planters promote a healthy environment for the community and enhance the aesthetics of the corridor.

Application

1. May be in the street furniture zone.
2. An individual business may put planting pots or removable planters in their supplemental zone.
3. Should be used frequently around seating areas but shall not interfere with circulation.
4. In warm weather they should be filled with plants, and not left empty or with only soil.

Sec. 10-14025. PARKS AND TRAILS

A. GUIDELINES

B. Pocket Parks:

Purpose

Pocket parks provide a connection while utilizing only a small area of space. They are appropriate where development is dense but there is still a need for a natural environment. They provide a place to sit and eat lunch or a place to exercise or revitalize.

Application

1. Elements may include trees, plantings, seating, exercise circuit equipment, playground equipment, water features, etc.
2. Must be accessible to the public right of way through pedestrian circulation.
3. Should be open to all users and face a public right of way.
4. Pocket parks should be well lit, but incorporate 'dark sky' friendly lighting to avoid spill over into adjacent properties.

C. Linear

Parks: Purpose

Linear parks are established to provide opportunities for recreation and connections between and within districts. Linear parks are often established in medians or along edges of streets and provide a pleasant alternative to typical sidewalk circulation by including green elements and more pedestrian amenities.

Application

1. Elements may include trees, plantings, seating, exercise circuit equipment, playground equipment, water features, etc.
2. Must be accessible to the public right of way through pedestrian circulation.
3. Should face a public right of way.

4. May be established where other development is not feasible due to topology or other constraints.

D. Neighborhood

Parks:

Purpose

Neighborhood parks provide a local place to congregate and recreate. They also contribute to a neighborhood's identity.

Application

1. All new neighborhoods should provide a park or access to another neighborhood park.
2. All parks shall follow all safety codes for all equipment.
3. Parks shall be properly lit for evening use and/or be closed off after dark.

E. Trail Systems:

Purpose

The trail system highlights the natural environment and promotes active recreational uses such as bicycling, walking or jogging throughout the corridor.

Application

1. The trail system shall follow all state codes for building and maintaining trails adjacent to streambeds.
2. No motor vehicles of any kind are permitted on the trail system, with the exception of maintenance vehicles.
3. Way-finding is the only type of signage permitted on the trail.
4. The design of the trail will minimize impacts on the natural environment.
5. The design of the trail incorporates amenities such as rest areas, picnic areas, and water fountains.



Typical street section with trail system at right

Sec.10-14026. GATEWAYS

A. GUIDELINES

Gateways help to define the boundaries of neighborhoods or districts. They convey the identity and character of a community. The gateways in the Cleveland Avenue corridor project will:

1. Visually identify neighborhoods, districts, or city limits.
2. Exhibit the natural attributes of the area.
3. Provide opportunities for pedestrian amenities, signage, public art, and landscape features.

B. City Gateway:

Purpose

Define city limits and establish identity for the corridor.

Application

1. City gateways may use, but are not limited to, trees, landscaping, art, signage, paving or other elements in their design.
2. City gateways must be maintained by the city.
3. If the gateway is accessible, it must comply with ADA.

C. District Gateways:

Purpose

District Gateways create focal points for district entrances and provide opportunities for pedestrian amenities such as bus shelters and seating. District gateways provide a

place to highlight the unique character of the district.

Application

1. All district gateways must be approved by the Planning Department.
2. District gateways may use, but are not limited to, trees, landscaping, art, signage, paving or other elements in their design.
3. District gateways must be maintained by the city or a business organization.
4. If the gateway is accessible, it must comply with ADA.



Proposed gateway on Cleveland Avenue as shown in Masterplan; to Buggyworks and Main Street pedestrian bridge

D. Neighborhood Gateways:

Purpose

Neighborhood gateways should reflect the distinctiveness of each neighborhood and also fit into the larger context of the District or City. Neighborhood gateways convey to the user the unique place they are entering.

Application

1. All neighborhood gateways must be approved by the Planning Department.
2. Neighborhood gateways may use, but are not limited to, trees, landscaping, art, signage, paving or other elements in their design.
3. Neighborhood gateways must be maintained by the City or neighborhood organization.
4. If the gateway is accessible, it must comply with ADA.

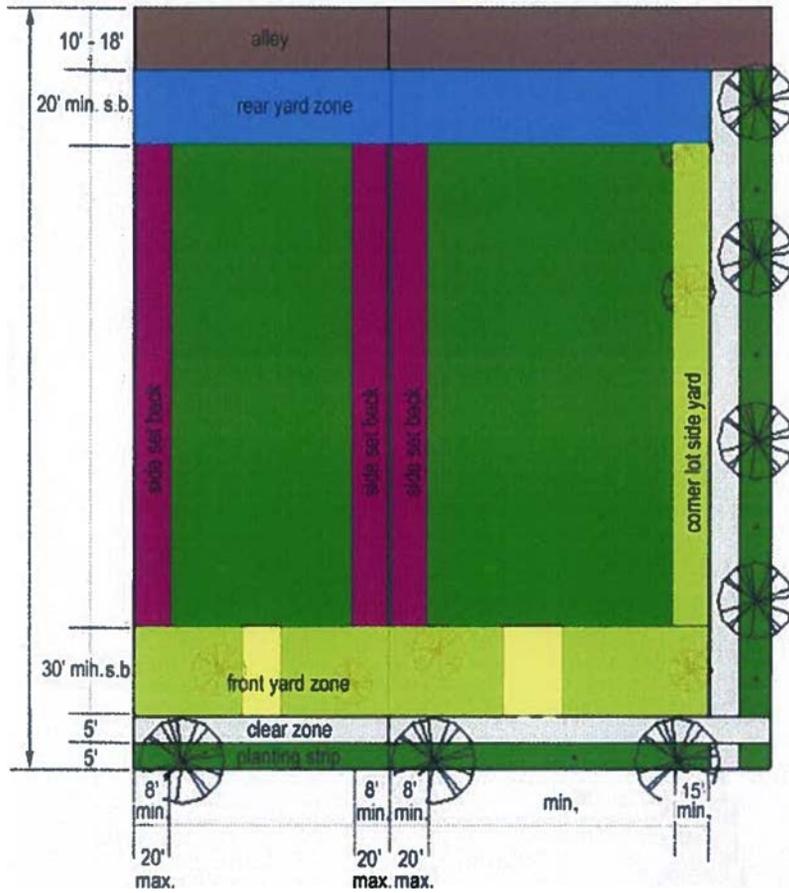
Sec. 10-14027. PRIVATE FRAMEWORK

Single Family

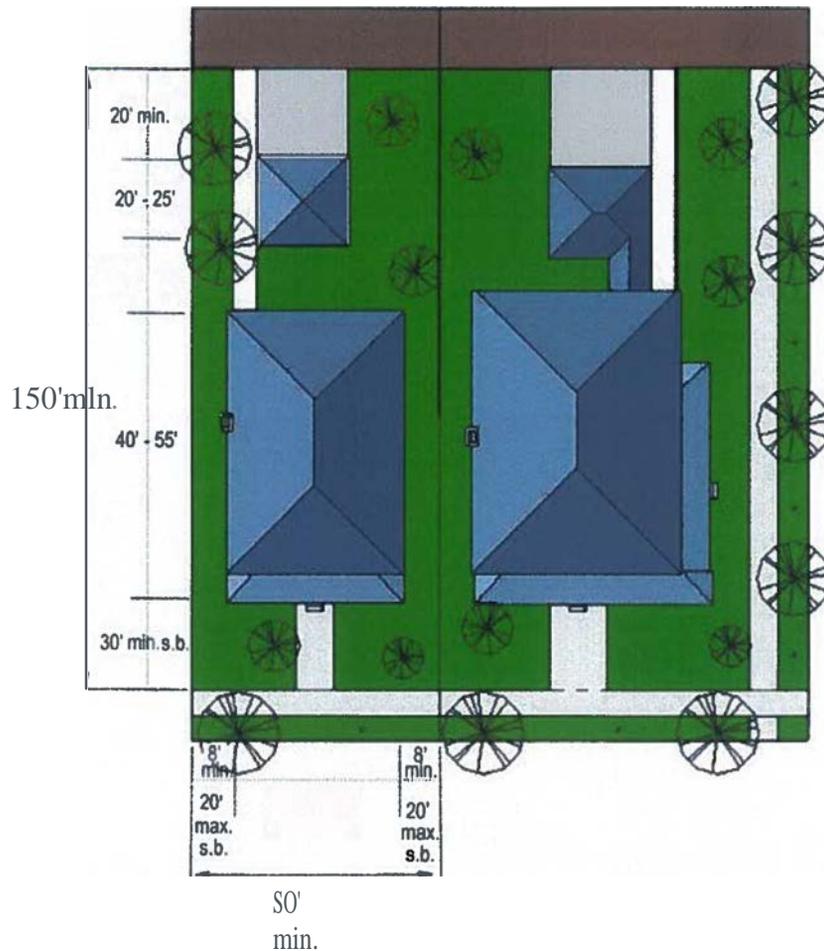
A. Site Guidelines

Purpose:

The site guidelines for single-family provide a framework for design of detached dwelling units of a moderate density with a minimum lot area of 7500 SF and a minimum frontage of 50'. The site design guideline for the single-family residential district sets up a uniformity which allows for diversity in building and site type. The guideline encourages appropriate interaction between the public and private domain. It outlines proper use of the lot with respect to the sidewalks and accessibility, gates and fencing, yard setbacks, vehicular access, and accessory buildings.



Site Diagram: yard zones for single-family



Site Diagram: typical site layout for single-family

B. Sidewalks and Accessibility: Purpose

Sidewalks in residential areas provide a safe and comfortable walking surface for pedestrians. Sidewalks promote pedestrian activity and connect residences to nearby recreation and services.

Application

1. Residential right-of-ways shall include sidewalks with a minimum clear zone of 5'.
2. All sidewalks at intersections shall comply with ADA regulations.
3. Sidewalks shall have a continuous planting strip of 3'-5' in width.
4. Entrance shall be connected to the sidewalk.

C. Gates and Fencing:

Purpose

Gates and fencing establish boundaries between public, semi-public, and private areas. Fencing can also be used as privacy screening between residences or between different land uses.

Application

1. Front yard: Fences and walls located within the front yard setback area shall not exceed 4 in height.
2. Side and rear yard: Fences and walls located along side and rear yards shall not exceed 6' in height.
3. Should be constructed of ornamental metal, ornamental masonry, wood, and other ornamental materials. No chain link fencing in front or side yard areas.
4. The top edge of a fence must be along a line that is either horizontal or substantially parallel to grade.

D. Yard Setbacks:

Purpose

The yard setbacks allow for uniform spacing within the single family district, emphasize the public and private boundaries, and create visual continuity in the neighborhood.

Application

1. Front yard setback 30'min. Rear yard setback 20' min.
2. Setbacks for infill or renovations should generally fall within the average range of existing setbacks on both sides of the street.
3. Side yard setback 8' minimum, 20' maximum.
4. Comer lot side yard setback 15' minimum.

E. Vehicular Access:

Purpose

Vehicular access within the single-family development provides connection to private parking.

Application

PARKING AND DRIVEWAYS

1. Minimum driveway width of 9', minimum shared driveway width of 12'.
2. Rear access through alleyway is encouraged.
3. Shared driveways are permitted with approval of the Planning and Zoning Department.
4. Driveways shall be paved.

ALLEYWAY

1. 10'-18' with shared/ on street parking and lighting.

F. Accessory Buildings:

1. Side, rear loaded garages or sheds.
2. Garages shall not face the public right-of-way with the exception of garages located in the rear yard.
3. Carports shall not be allowed in the front yard zone and when utilized in the side yard, must extend from the principal structure as an architectural feature.
4. Stand-alone carports are prohibited in the front and side yard zones.

G. Building Guidelines

Purpose

The Single Family Residential design guideline allows for individual architectural expression within the corridor while still maintaining compatible design throughout the complex. The guideline promotes quality materials and appropriate architecture within the Cleveland Avenue corridor. Architecturally, the Single Family Residential guidelines evoke a feeling of community through the use of such elements as porch and entrance, fenestration and corners, material and color, scale and massing, and building numbers.



Axonometric View of Single-Family homes with alley access

H. Porch and Entrance:

1. A front entrance or porch should not be permanently or fully enclosed.
2. Detailing on front entrances and porches should be typical of the style and period of the residence.

I. Fenestration and Corners:

1. Elements around windows, such as balconies, shutters and sills, are permitted.
2. All sides with street frontages should include similar features as the front elevation.

J. Material and Color:

1. High level of craftsmanship for all details and finish.
2. All exterior cladding shall be quality building materials. Plain CMU, sheet metal and other non-traditional facade materials are not permitted. No vinyl siding.
3. When remodeling historic structures, care should be taken to match original materials and finishes.

K. Scale and Massing:

1. Roofs may have dormers, gables, or similar variations in roof planes in order to break up the roof mass.
2. Generally, roofs should have a pitch that is consistent with and supportive of local architectural styles.

3. Scale and mass of an addition shall maintain that of the original structure.
4. Infill or remodeled structures will not visually overwhelm neighboring structures.

L. Building Numbers:

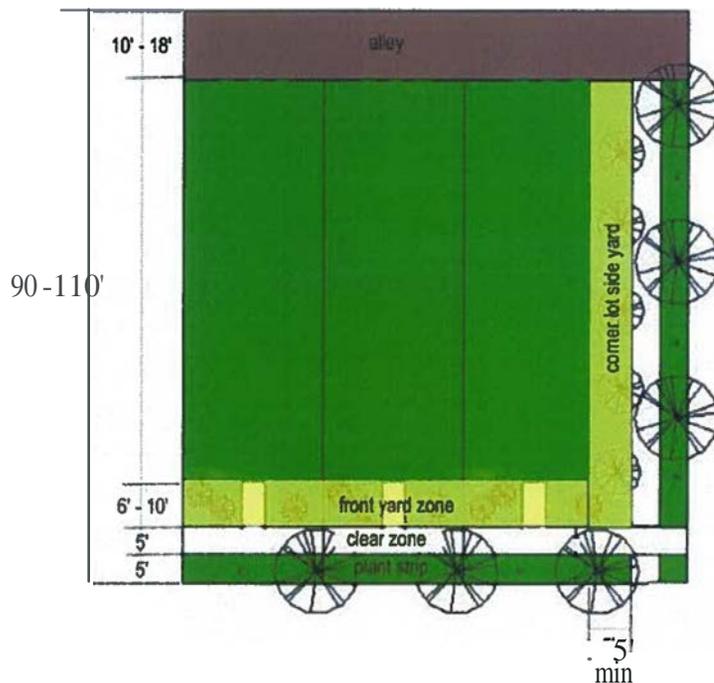
1. Clearly visible from the sidewalk.
2. Minimum of 6" in height.

Sec.10-14028. TOWNHOMES

A. Site Guidelines

Purpose:

The site guidelines for townhomes provide a framework for design of attached dwelling units of a moderate density with a minimum lot area of 1875 SF and a minimum frontage of 25'. The site design guideline for townhomes establishes a consistent delineation between the public and private realms. It provides a framework for denser development while still recognizing the needs of the individual homeowner. The townhome guideline promotes safety within the development while maintaining the residential feel of the development. It takes into account sidewalks and accessibility, gates and fencing, yard setbacks, vehicular access, and accessory buildings.



Site Diagram: yard zones for townhouses with detached garages

B. Sidewalks and Accessibility:

Purpose

Provide safe and comfortable pedestrian circulation to the public sidewalk, trail systems, or on-site amenities.

Application

1. Continuous clear zone of 5' minimum.
2. Planting strip of 5' minimum containing lighting and street trees.
3. Unit entrances shall be connected to a public sidewalk or a walkway that connects to the public right of way

C. Gates and Fencing:

Purpose

Gates and fencing establish boundaries between public, semi-public, and private areas. Fencing can also be used as privacy screening between residences or between different land uses.

Application

1. Front yard: Fences and walls located within the front yard setback area shall not exceed 4' in height.
2. Side and rear yard: Fences and walls located along side and rear yards shall not exceed 6' in height.
3. Should be constructed of ornamental metal, ornamental masonry, wood, and other ornamental materials. No chain link fencing in front or side yard areas.
4. The top edge of a fence must be along a line that is either horizontal or substantially parallel to grade.
5. Alley must be screened from adjacent residential properties through the use of a 6' min. opaque fence, wall, or other screening device approved by the Planning Department.

D. Yard Setbacks:

Purpose

The yard setbacks allow for uniform spacing within the district, emphasize the public and private boundaries, and create visual continuity in the neighborhood.

Application

1. Front yard setback including stoop 4' – 10'.
2. Corner lot side yard setback 5' minimum.
3. Rear yard setback 5' minimum.

E. Vehicular

Access:

Purpose

To provide for access to private parking while maintaining a front yard free from curb cuts and street facing garages, townhouse developments shall provide alleys and rear-loaded garages.

Application

PARKING AND DRIVEWAYS

1. Interior or exterior parking garage.
2. Rear access to driveway through alley.
3. 1 parking space per units of 1200 square feet or less and 2 spaces per units greater than 1200 square feet.

ALLEYWAY

1. 10'-18' with shared/on-street parking.

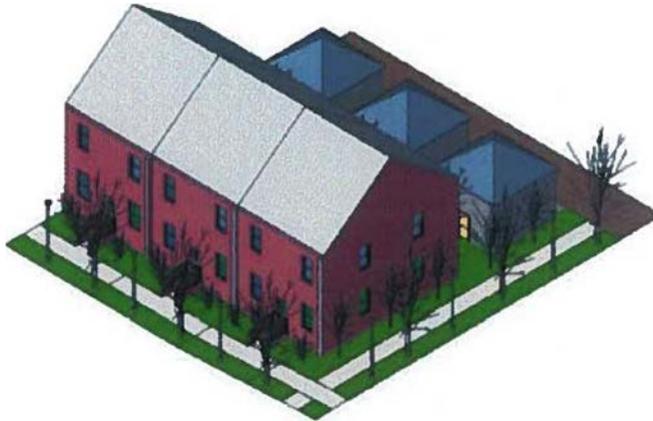
F. Accessory Building:

1. Detached garages or sheds permitted in rear yards.

G. Building Guidelines

Purpose

The design guidelines for townhomes are meant to create an attractive and inviting development. The design of the homes should encourage neighborly activity within a close community but still allow for privacy and diversity. The guideline will ensure quality construction and craftsman standards for these elements; stoop and entrance, fenestration and comers, material and color, scale and massing and building numbers.



Axonometric view of townhomes with detached garages

H. Stoop and Entrance:

1. A front entrance or stoop should not be permanently or fully enclosed.

I. Fenestration and Corners:

1. Elements around windows, such as balconies, shutters and sills, are permitted.
2. All sides with street frontages should include similar features as the front elevation.

J. Material and Color:

1. High level of craftsmanship for all details and finishes.
2. Color should be architecturally appropriate and not detract from adjacent properties.
3. All exterior cladding shall be quality building materials. Plain CMU, sheet metal and other non traditional fa9ade materials are not permitted. No vinyl siding.

K. Scale and Massing:

1. 2 - 3 story.

2. On corner units, the secondary elevation shall attain a similar level of detail as the primary elevation.
3. There shall be no more than 10 attached units contained within one structure.

L. Building Numbers:

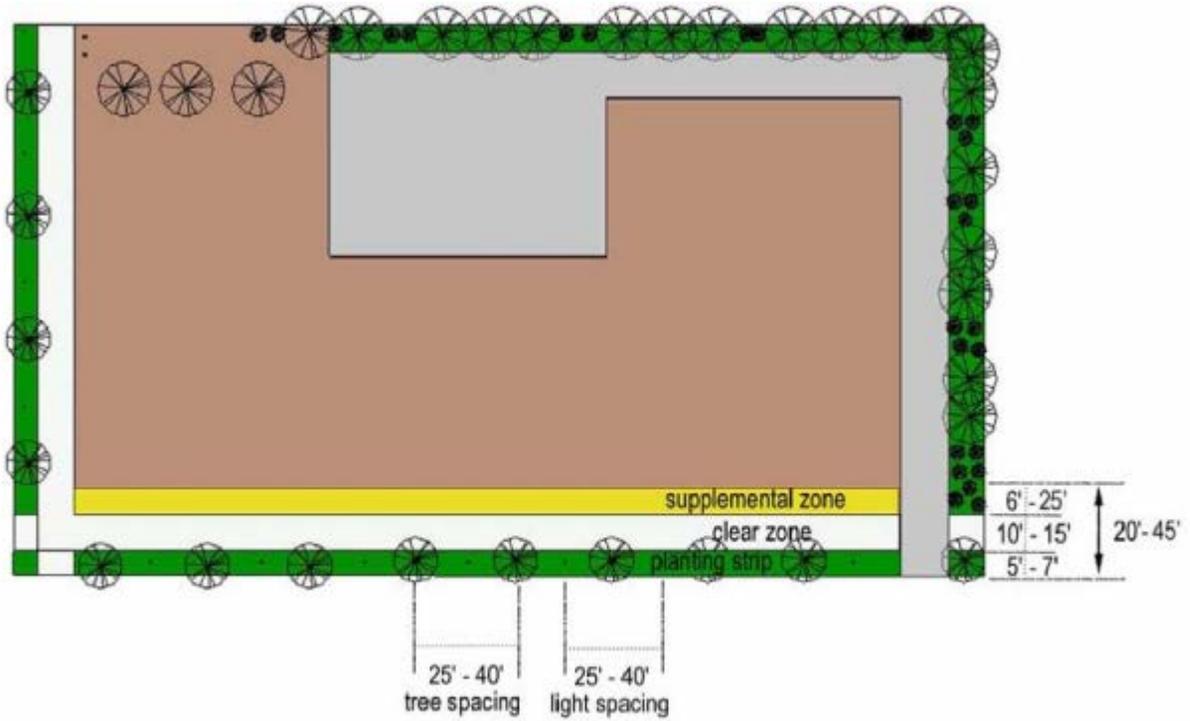
1. Clearly visible from the sidewalk.
2. Minimum of 6" in height.

Sec. 10-14029. MULTI-FAMILY

A. Site Guidelines

Purpose

The site guidelines provide a framework for design of multi-family dwelling units of a medium to high density that is consistent with the goals of the Cleveland Avenue Corridor Masterplan. The site guidelines promote street orientation and pedestrian circulation on and off site.



Site Diagram: yard zones for apartments



max. max.
drive buffer

Site Diagram: example site layout for apartments

B. Sidewalks and Accessibility:

Purpose

Provide safe and comfortable pedestrian circulation to the public sidewalk, trail systems, or on-site amenities.

Application

1. Minimum continuous clear zone of 5'.
2. Minimum 5' planting strip of 5' containing lighting and street trees.
3. Multiple entrances connected to public sidewalk.
4. Site must include interior sidewalk that serves parking lot and building.

C. Gates and Fencing:

Purpose

Gates and fencing establish boundaries between public, semi-public, and private areas. Fencing can also be used as privacy screening between residences or between different land uses.

Application

1. Front yard: Fences and walls located within the front yard setback area shall not exceed 4' in height.
2. Side and rear yard: Fences and walls located along side and rear yards shall not exceed 6' in height.
3. Should be constructed of ornamental metal, ornamental masonry, wood, and other ornamental materials. No chain link fencing in front or side yard areas.
4. The top edge of a fence must be along a line that is either horizontal or substantially parallel to grade.

D. Yard Setbacks:

Purpose

The yard setback allows the building to be visually connected with the public realm and still maintain its private character.

Application

- Front setback or supplemental zone 6'– 25'.
- Side setback of 6'.

E. Vias:

Purpose

Vias connect pedestrians to parking, site amenities, or other building entrances and can encourage outdoor activity on the site.

Application

1. Use specially designed elements including paving, lighting, landscape and street furniture.

F. Screening and Buffering:

Purpose

1. Screening and buffering maintains the attractiveness of the building while providing for its functionality.

Application

1. Areas for outdoor storage, truck parking, trash collection or compaction, loading, or other such uses shall not be visible from public or private rights-of-way and shall not be located within 20' of any public street or sidewalk.
2. Where parking abuts a street, a decorative masonry wall, evergreen hedge screen of 30" 42" in height and a minimum of 12" in width shall be established in a 8' minimum planted buffer.
3. A 20' landscaped area is required when adjacent to single-family zones. In addition, where property abuts a single-family or townhouse zone, a 6' - 7' privacy/ screening fence or wall shall be constructed.

G. Landscaping:

Purpose

Landscaping enhances the experiential quality of the corridor by providing a balance of natural greenscape against building and hardscape elements. In addition, landscape can be used to define and improve the aesthetics of boundaries, gateways, entrances, and special site features.

Application

1. 25% of site must be covered with greenscape or special permeable paving materials, however, impervious public plazas may count towards 5% of this requirement. Up to 30% of the greenspace requirement may be comprised of approved permeable paving materials.
2. Landscape design should include a variety of deciduous, evergreen trees, shrubs and flowering plant species well suited to the local climate.
3. Where feasible, existing healthy trees on the site of greater than 6" DBH should be incorporated into the required landscaping of the site.
4. Landscape should be designed so that 80% coverage occurs within five years.

H. Parking:

Application

1. One (1) parking space per units of 1000 square feet or less and 1 1/2 space per unit greater than 1000 square feet.
2. Parking must be to the side or rear of the primary elevation and must not break the plane of the primary elevation.
3. Parking decks and garages are permitted, but must use well designed architectural elements that are compatible with the adjacent structure on all elevations that face either public right of ways or other buildings. They should appear to be a horizontally storied building.
4. There shall be a pedestrian walkway which connects the surface parking lot to the public sidewalk.
5. One 2'x 6' minimum bicycle parking space per 20 parking spaces.
6. Parking areas must be evenly lit and equal to one-half footcandle of light minimum. In addition, there shall be no light spillage onto adjacent residential properties. Light

fixtures must be fully shielded when adjacent to residential properties.

7. Light spillage onto adjacent properties shall be reduced by a cut-off luminaire with a maximum of ninety degrees illumination.
8. There shall be a continuous landscape buffer with a minimum of 8' between parking areas and the street. An 8' buffer shall be established where parking abuts other property lines.
9. Parking lots with 50 or more spaces shall be divided into separate areas with minimum landscaping of 10'. Walkways may cut through the landscaping.
10. A credit for shared parking in mixed-use developments for up to 25% of the required spaces shall be allowed with approval from the Planning and Zoning Department.
11. One driveway for each development is permitted with the exception of properties with more than one front yard which may have two driveways.
12. A minimum of 7% of the parking lot must be landscaped.
13. One landscaped median and one large canopy tree must be included for every 7 parking spaces.

I. Building Guidelines

Purpose

Building guidelines provide elements that allow for a multi-family residence which has a human scale and sensibility to its design.



Axonometric view of multifamily development

J. Entrances:

1. Entrances shall be connected to the sidewalk and street.
2. Entrances shall be landscaped.
3. Awnings, signs, or recessed entrances shall be integrated into the design of the building.

K. Fenestration:

1. Opaque, smoked and reflective glass should be used for accents only.
2. All multi-family developments within commercial districts shall follow retail/mixed use guidelines for ground level fenestration

L. Corners:

1. All sides with street frontages shall offer similar treatments as the front elevation.

M. Material and Color:

1. All facades shall be constructed of quality exterior grade materials such as, but not limited to, wood, and masonry. Colors should not detract from nearby structures.
2. Predominant exterior building materials as well as accents shall not include the following: smooth face CMU, metal siding, vinyl siding.

N. Scale and Massing:

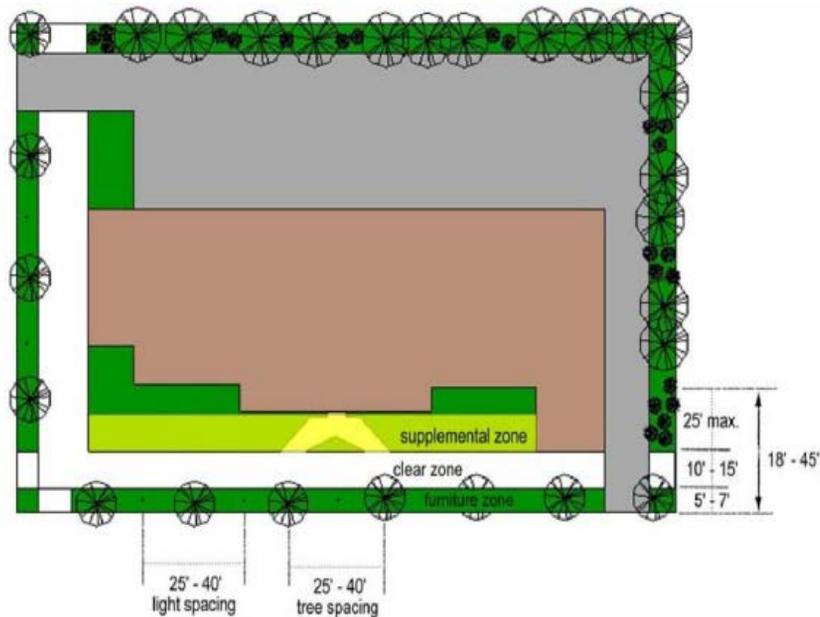
1. The height of the buildings may be up to 45'.
2. Large blank walls are not permitted.
3. Setbacks in the facade creating architectural interest or courtyards are encouraged.
4. Delineating elements which separate the ground level from the upper level are encouraged.

Sec. 10-14030. OFFICE

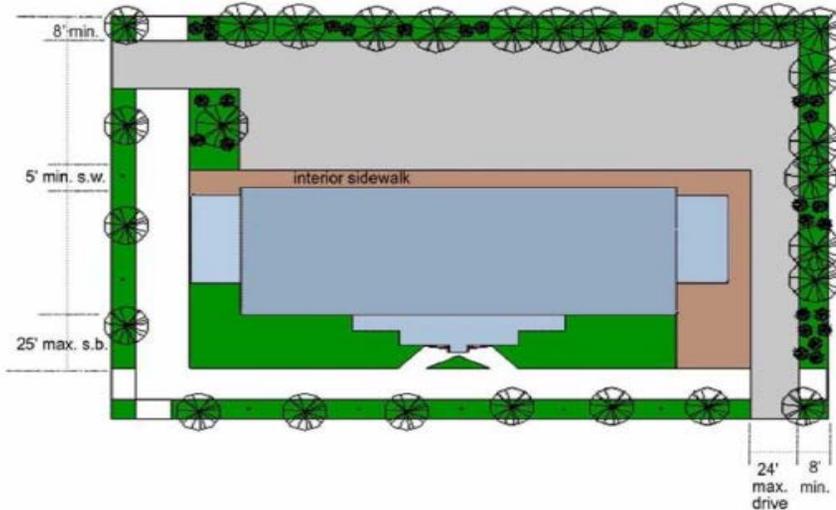
A. Site Guidelines

Purpose

The office site guideline creates an interface between the public and private realm, which simultaneously serves the corridor, and individual business. The site guideline establishes consistent lot usage throughout which contributes to the uniformity and aesthetic appeal of the streetscape. The guideline will consider sidewalks and accessibility, front yard, vias, landscaping, screening and buffering and parking.



Site Diagram: yard zones for offices



Site Diagram: example site layout for offices

B. Sidewalks and Accessibility: Purpose

Sidewalks ease pedestrian circulation to the amenities in the development as well as the whole corridor.

Application

1. Continuous clear zone of 10' as minimum.
2. Planting strip of 5' minimum containing lighting and street trees.
3. Building Entrance connected to sidewalk.
4. Site must include interior sidewalk that serves parking lot and building.

C. Yard Setbacks:

Purpose

The yard setback allows the building to be visually connected with the public realm and still maintain its private character.

Application

1. Front yard (supplemental zone) setback 25' max.

2. Side setback of 6'.
3. No structures over 12" in width and 36" in height may be placed within the sight triangle.

D. Vias:

Purpose

Vias connect pedestrians to parking, site amenities, or other building entrances, and can encourage outdoor activity on the site.

Application

1. Be visually connected to the buildings through storefront windows and or entrances or restaurant seating.
2. May allow enough room for open-air restaurant seating.
3. Use specially designed elements including paving, lighting, landscape and street furniture.

E. Landscaping:

Purpose

Landscaping enhances the experiential quality of the corridor by providing a balance of natural greenscape against building and hardscape elements.

Application

1. Twenty-five percent (25%) of site must be covered with landscape or permeable paving materials. Up to 30% of the greenspace requirement may be comprised of approved permeable paving materials.
2. Landscape should be designed so that 80% coverage occurs within five years.
3. Landscape design should include a variety of deciduous, evergreen trees, shrubs and flowering plant species well suited to the local climate.
4. Where feasible, existing healthy trees on the site of greater than 6" DBH should be incorporated into the required landscaping of the site.

5. All office developments shall include at least one public plaza or greenspace that includes amenities such as benches, fountains, seating areas, etc. that has direct access to the public sidewalk network.

F. Screening and Buffering:

Purpose

Screening and buffering maintains the attractiveness of the building while providing for its functionality.

Application

1. A 25' landscaped area must buffer buildings adjacent to residential zones. In addition where property abuts a residential zone, a 6' - 7' privacy/ screening fence or wall shall be constructed.
2. Areas for outdoor storage, truck parking, trash collection or compaction, loading, or other such uses shall not be visible from public or private rights-of-way and shall not be located within 20' of any public street or sidewalk.
3. No chain link fencing.
4. Where parking abuts a street, a decorative masonry wall or evergreen hedge screen of 30"- 42" in height and a minimum of 12" in width shall be established in an 8' minimum planted buffer.

G. Parking:

Application

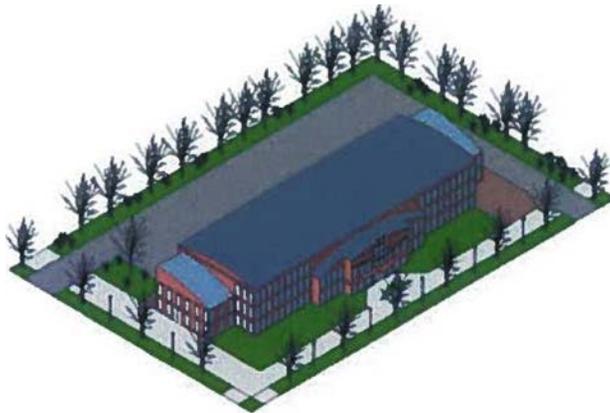
1. One (1) parking space per 300 square feet.
2. Parking must be to the side or rear of the primary elevation and must not break the plane of the primary elevation.
3. Parking decks and garages are permitted, but must use architectural elements that are compatible with the adjacent structure on all elevations that face either public right of ways or other buildings. They should appear to be a horizontally storied building with active ground level uses.

4. A pedestrian walkway must connect the parking lot to the public sidewalk.
5. Parking areas must be evenly lit and equal to one-half footcandle of light. In addition, there shall be no light spillage onto adjacent residential properties. Light fixtures must be fully shielded when adjacent to residential properties.
6. Light spillage onto adjacent residential properties shall be reduced by a cut-off luminaire with a maximum of ninety degrees illumination.
7. There shall be a continuous landscape buffer with a minimum of 8' between parking areas and the street. An 8' buffer shall be established where parking abuts other property lines.
8. Parking lots with 50 or more spaces shall be divided into separate areas with minimum 10' landscape strip. Walkways may cut through the landscaping.
9. One driveway for each development is permitted. Properties with more than one front yard may have two driveways. Joint curb cuts are encouraged.
10. One large canopy tree and a planted median should be planted for every 7 parking spaces, within interior and perimeter planting areas.
11. A minimum of 7% of the parking lot must be landscaped.
12. One 2'x 6' minimum bicycle parking space per 20 parking spaces.

H. Building Guidelines

Purpose:

The building guidelines provide elements that allow for an office development which has a human scale and sensibility to its design.



Axonometric view of an office development

I. Entrances:

Purpose

The pedestrian entrance to the building shall portray the business identity while maintaining an inviting scale to the pedestrian. Awnings or canopies may be used for this purpose.

Application

1. All buildings shall have their principle entrance on the primary elevation and shall provide a direct connection to the sidewalk and street.
2. Restaurants may have a series of doors that open to provide open air dining.
3. Awnings, signs, or recessed entrances shall be integrated into the design of the building.
4. Recessed entrances must not exceed 50% of the storefront width nor 10' in depth.
5. Service entrances or loading docks shall be designed to have minimum impact on the primary elevation. Wherever possible, they shall not be located on the primary elevation.

J. Fenestration:

Purpose

The proportions and design of building openings are integral in connecting the building to the pedestrian. The windows should also be used for the business to communicate to the public with storefront displays that provide visual interest to the pedestrian.

Application

1. Offices shall have a minimum of 50% glass on the ground front elevation.
2. Windows should comprise from 25% to 50% of fa9ades higher than ground level which are visible from public right-of-ways.
3. Traditional elements around windows are permitted such as balconies, shutters and sills.
4. No signage shall be adhered to the windows, permanently or temporarily, except the name of the business and street address. The name and street address shall take up no

more than 10% of the window to which it is adhered.

5. Opaque and smoked glass should be used for accents only.

K. Corners:

Purpose

Corners give prominence to the intersection and add architectural interest.

Application

1. Project up to one additional floor higher than adjacent buildings.
2. Have awnings, balconies, or signs in keeping with the design guidelines.
3. Have a higher level of detail than any other corner on the building.

L. Material and Color:

Purpose

Quality is an important element of construction. Substandard materials and craftsmanship are not permitted. The greatest amount architectural detail and interest shall be at the pedestrian level. The following standards are the minimum all projects should adhere to:

Application

1. High level of craftsmanship for all details and finishes.
2. Color should be architecturally appropriate and not detract from adjacent properties.
3. For storefront designs, attention shall be paid to the details of the window design in order to promote a connection to the pedestrian.
4. For storefront designs, attention shall be paid to the details of the window design in order to promote a connection to the pedestrian.
5. Predominant exterior building materials as well as accents shall not include the following: smooth face CMU, metal siding, vinyl siding. No stucco or synthetic stucco products (EIFS, Dryvit) shall be used on the ground level. Administrative variances may be approved if materials are historically or contextually appropriate.

M. Scale and Massing:

Purpose

Attention to scale and massing is important when considering both the impact of the building from the street as well as the pedestrian experience at the sidewalk. From the street, the building should appear balanced with its surrounding context of buildings and landscape. From the sidewalk, the building should consider the human scale, particularly at the ground level where pedestrians are largely impacted.

Application

1. Major horizontal elements of adjacent buildings such as awnings, cornices, etc. on the primary elevation, shall be at the same height wherever possible.
2. The height of the buildings may be up to 50'.
3. When buildings are within 100' of a single-family residence, the building may be up to 35' in height.
4. Elevations that are seen from a public right of way must have architectural interest. Large blank walls are not permitted.
5. On the primary elevation, an architectural rhythm of 15' to 30' should be established.
6. On the primary elevations of buildings over one story, the ground floor shall be architecturally distinguished from upper floors to form both an architectural base and to create an intimate scale for the pedestrian.
7. Varied roof forms and cornices may be employed to express the uniqueness of each design.
8. The roofs on corner lots should emphasize and enhance the corner.

N. Awnings:

Purpose

Awnings allow a business to further define their identity as well as provide shelter from the elements to pedestrians. They add design interest to the streetscape, protect displays from over-exposure to the sun, and help cool the building.

Application

1. Awnings or projecting signs above 7' may be permitted into the right of way so long as they do not interfere with trees, utilities, transit shelters or other street furnishings.
2. Awnings, signs, or recessed entrances shall be integrated into the design of the building.
3. Awnings shall have a framed opening. They should be architecturally consistent with the rest of the building.
4. Adjacent awnings or awnings along the same block should be at the same height wherever possible.
5. Awnings shall not interfere with pedestrian mobility.
6. Awnings shall be retractable or open sided.
7. Vinyl awnings are discouraged.
8. Internally lit or worn awnings are not permitted.

O. Building Numbers:

Application

1. Above the primary elevation entrance.
2. The business name or address can be permanently adhered or painted on glass windows provided that it takes up a maximum of 10% of the glass to which it is adhered.
3. Clearly visible from the sidewalk.
4. Minimum of 6" in height.

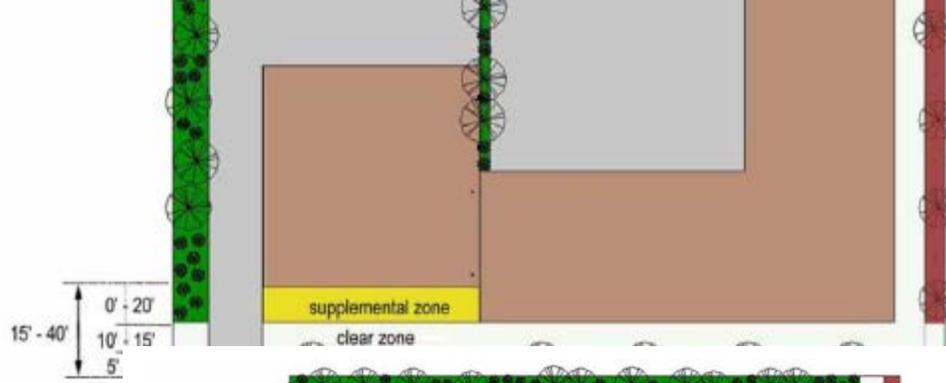
Sec. 10-14031. RETAIL/ MIXED-USE

A. Site Guidelines

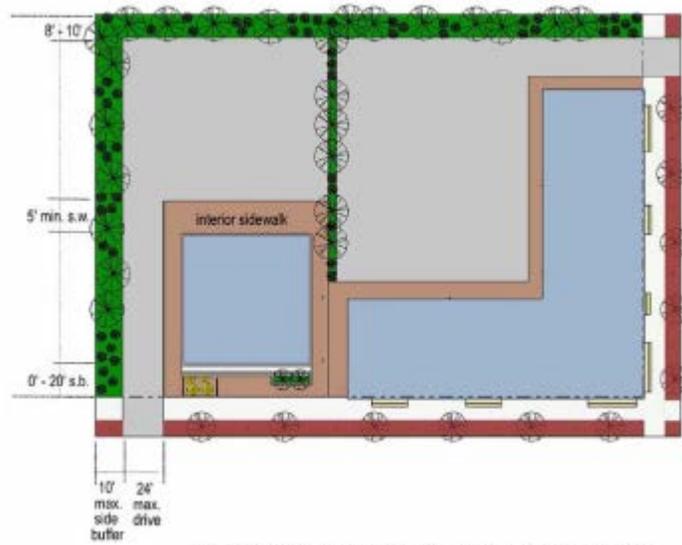
Purpose

The site guideline for retail and mixed-use buildings creates a streetscape to give the

whole as
lity, front



Site Diagram: yard zones for retail/mixed-use



Site Diagram: example site layout for retail/mixed-use

B. Sidewalks and Accessibility:

Purpose:

Sidewalks ease pedestrian circulation to the amenities in the development as well as the whole corridor.

Application:

1. Continuous clear zone of 10' as minimum.
2. Planting strip of 5' minimum containing lighting and street trees.
3. Building Entrance connected to sidewalk.
4. Site must include interior sidewalk that serves parking lot and building.

C. Yard Setbacks:

Purpose

The yard setback allows the building to be visually connected with the public realm and still maintain its private character.

Application:

1. Front yard (supplemental zone) setback 0 -20'.
2. Side Yard, Rear Yard setback of 6'.
3. No structures over 12" in width and 36" in height may be placed within the sight triangle.

D. Vias:

Purpose

Vias connect pedestrians to parking, site amenities, or other building entrances, and can encourage outdoor activity on the site.

Application

1. Be visually connected to the buildings through store front windows and or entrances or restaurant seating.

2. May allow enough room for open air restaurant seating.
3. Use specially designed elements including paving, lighting, landscape and street furniture.

E. Landscaping:

Purpose

Landscaping enhances the experiential quality of the corridor by providing a balance of natural greenscape against building and hardscape elements.

Application

1. Twenty-five percent (25%) of site must be covered with greenscape or special permeable paving materials, however, impervious public plazas may count towards 5% of this requirement. Up to 30% of the greenspace requirement may be comprised of approved permeable paving materials.
2. Landscape should be designed so that 80% coverage occurs within five years.
3. Landscape design should include a variety of deciduous, evergreen trees, shrubs and flowering plant species well suited to the local climate.
4. Where feasible, existing healthy trees on the site of greater than 6" DBH should be incorporated into the required landscaping of the site.
5. All mixed-use developments shall include at least one public amenity area or greenspace that includes amenities such as benches, fountains, seating areas, etc. that has direct access to the public sidewalk network.

F. Screening and Buffering: Purpose

Screening and buffering maintains the attractiveness of the building while providing for its functionality.

Application

1. A 20' landscaped area must buffer buildings adjacent to residential zones. In addition where property abuts a residential zone, a 6' - 7' privacy/ screening fence or wall shall be constructed.
2. Areas for outdoor storage, truck parking, trash collection or compaction, loading, or

other such uses shall not be visible from public or private rights-of-way and shall not be located within 20' of any public street or sidewalk.

3. No chain link fencing.
4. Where parking abuts a street, a decorative masonry wall or evergreen hedge screen of 30"- 42" in height and a minimum of 12" in width shall be established in an 8' minimum planted buffer.

G. Parking:

Application

1. One (1) parking space per 300 square feet.
2. Parking must be to the side or rear of the primary elevation and must not break the plane of the primary elevation.
3. Parking decks and garages are permitted, but must use well designed architectural elements that are compatible with the adjacent structure on all elevations that face either public right of ways or other buildings. They should appear to be a horizontally storied building with active ground level uses.
4. Joint curb-cuts are encouraged for access to adjacent lots.
5. There shall be a pedestrian walkway which connects the surface parking lot to the public sidewalk.
6. Parking areas must be evenly lit and equal to one-half footcandle of light. In addition, there shall be no light spillage onto adjacent residential properties. Light fixtures must be fully shielded when adjacent to residential properties.
7. Light spillage onto adjacent residential properties shall be reduced by a cut-off luminaire with a maximum of ninety degrees illumination.
8. There shall be a continuous landscape buffer with a minimum of 8' between parking areas and the street. An 8' buffer shall be established where parking abuts other property lines.
9. Parking lots with fifty or more spaces shall be divided into separate areas with minimum 10' landscape strip. Walkways may cut through the landscaping.
10. One driveway for each development is permitted. Properties with more than one

front yard may have two driveways.

11. One large canopy tree and a planted median should be planted for every 7 parking spaces, within interior and perimeter planting areas.
12. A minimum of 7% of the parking lot must be landscaped.
13. One 2' x 6' minimum bicycle parking space per 20 parking spaces.
14. Up to 25% of parking may be shared in mixed-use developments upon approval of the Director of Planning and Zoning.

H. Building Guidelines

Purpose

The building design guideline for retail and mixed use lays the foundation for architecturally appealing design through scale and orientation. The guideline establishes a rhythm for the buildings so they effectively communicate their use. It takes into consideration entrances, fenestration, corners, material and color, building scale and massing, awnings, outdoor dining, signage, and building numbers.



I. Entrances: Purpose

Axonometric view of retail development

The pedestrian entrance to the building shall portray the business identity while maintaining an inviting scale to the pedestrian. Awnings or canopies may be used for this purpose.

Application

1. All buildings shall have their principle entrance on the primary elevation and shall provide a direct connection to the sidewalk and street.
2. Restaurants may have a series of doors that open to provide open air dining.
3. Awnings, signs, or recessed entrances shall be integrated into the design of the building.
4. Recessed entrances must not exceed 50% of the storefront width nor 10' in depth.
5. Service entrances or loading docks shall be designed to have minimum impact on the primary elevation. Wherever possible, they shall not be located on the primary elevation.

J. Fenestration:

Purpose

The proportions and design of building openings are integral in connecting the building to the pedestrian. The windows should also be used for the business to communicate to the public with storefront displays that provide visual interest to the pedestrian.

Application

1. All retail buildings shall have a minimum of 75% glass on the ground level facing public rights-of-way. Any other ground level facade that is visible from the public right-of way shall have a minimum of 50%.
2. Windows should comprise from 25% to 50% of facades higher than ground level which are visible from public right-of-ways.
3. Traditional elements around windows are permitted such as balconies, shutters and sills.
4. No signage shall be adhered to the windows permanently or temporarily except the name of the business and street address. The name and street address shall take up no more than 10% of the window to which it is adhered.

5. Opaque, smoked and reflective glass should be used for accents only.

K. Corners:

Purpose

On corner lots, these corners give prominence to the intersection and add architectural interest while addressing the context.

Application

1. Project up to one additional floor higher than adjacent buildings.
2. Have awnings, balconies, or signs in keeping with the design guidelines.
3. Have a higher level of detail than any other corner on the building.

L. Material and Color: Purpose

Quality is an important element of construction. Substandard materials and craftsmanship are not permitted. The greatest amount architectural detail and interest shall be at the pedestrian level. The following standards are the minimum all projects should adhere to:

Application

1. High level of craftsmanship for all details and finishes.
2. Color should be architecturally appropriate and not detract from adjacent properties.

3. For storefront designs, attention shall be paid to the details of the window design in order to promote a connection to the pedestrian.
4. Predominant exterior building materials as well as accents shall not include the following: smooth face CMU, metal siding, vinyl siding. No stucco or synthetic stucco products (EIFS, Dryvit) shall be used on the ground level. Administrative variances may be approved if materials are historically or contextually appropriate.

M. Scale and Massing:

Purpose

Attention to scale and massing is important when considering both the impact of the building from the street as well as the pedestrian experience at the sidewalk. From the street, the building should appear balanced with its surrounding context of buildings and landscape. From the sidewalk, the building should consider the human scale, particularly at the ground level where pedestrians are largely impacted.

Application

1. Major horizontal elements of adjacent buildings such as awnings, cornices, etc. on the primary elevation, shall be at the same height wherever possible.
2. The height of the buildings may be up to 50'.
3. When buildings are within 100' of a single-family residence, the building may be up to 35' in height.
4. Elevations that are seen from a public right of way must have architectural interest. Large blank walls are not permitted.
5. On the primary elevation, an architectural rhythm of 15' to 30' should be established.
6. On the primary elevations of buildings over 1 story, the ground floor shall be architecturally distinguished from upper floors to form both an architectural base and to create an intimate scale for the pedestrian.
7. Varied roof forms and cornices may be employed to express the uniqueness of each design.
8. The roofs on corner lots should emphasize and enhance the corner.

N. Awnings:

Purpose

e

Awnings allow a business to further define their identity as well as provide shelter from the elements to pedestrians. They add design interest to the streetscape, protect displays from over exposure to the sun, and help cool the building.

Application

n

1. Awnings or projecting signs above 7' may be permitted into the right-of-way so long as they do not interfere with trees, utilities, transit shelters or other street furnishings.
2. Awnings, signs, or recessed entrances shall be integrated into the design of the building.
3. Awnings shall have a framed opening. They should be architecturally consistent with the rest of the building.
4. Adjacent awnings or awnings along the same block should be at the same height wherever possible.
5. Awnings shall not interfere with pedestrian mobility.
6. Awnings shall be retractable or open sided.
7. Vinyl awnings are discouraged.
8. Internally lit or worn awnings are not permitted.

O. Outdoor

Dining: Purpose

Outdoor dining allows restaurant patrons to enjoy the open air environment and bustle of public spaces while enjoying a meal. It also permits restaurant owners to extend their dining rooms and serve a larger capacity.

Application

n

1. A restaurant may set itself back from the clear zone up to 20' to make room for outdoor

dining or plazas.

2. A restaurant may extend 2' into the clear zone for small tables.
3. A restaurant may install large glazed doors that can be opened to the sidewalk for outdoor dining.

P. Building Numbers:

Application:

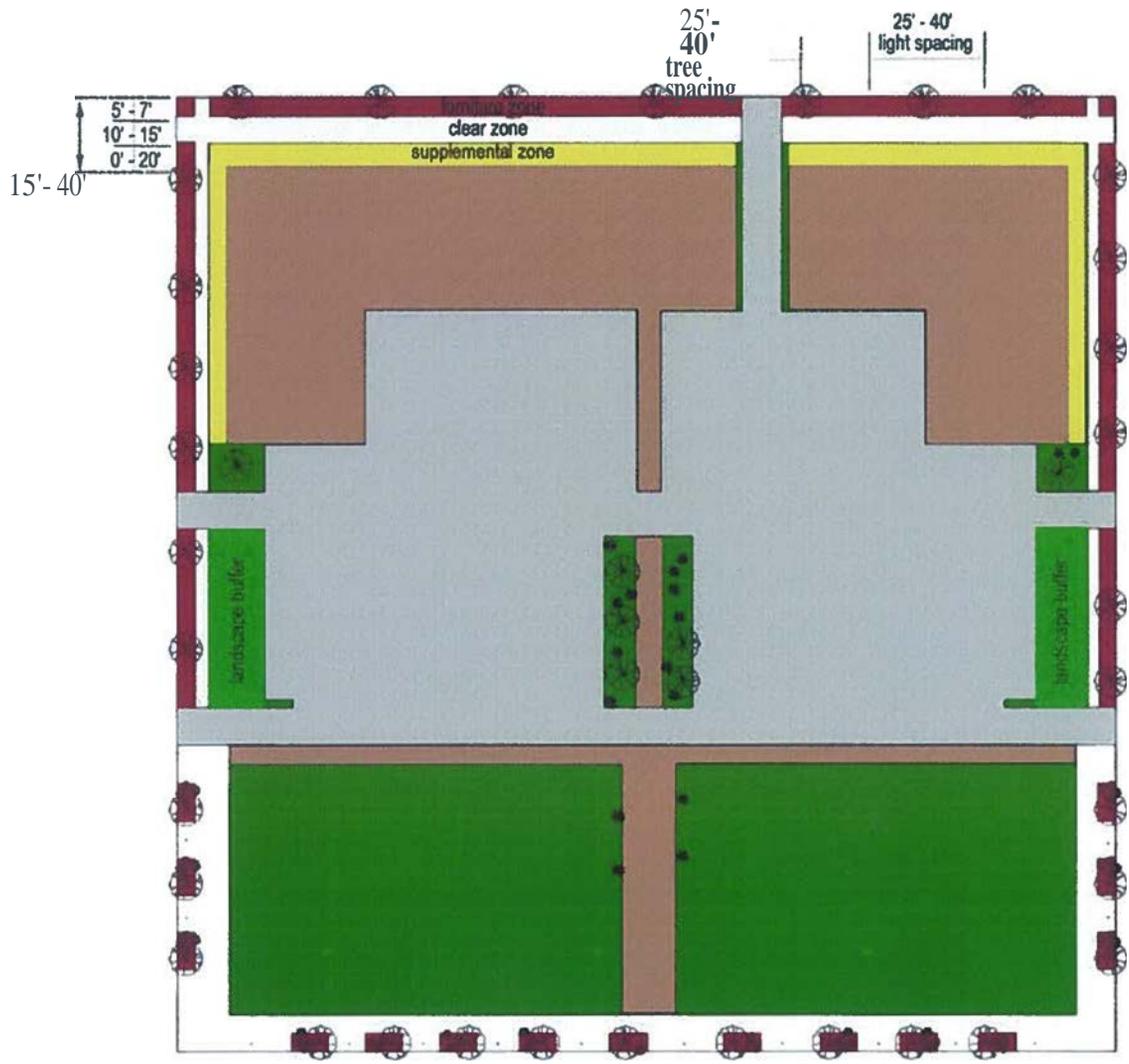
1. Above the primary elevation entrance.
2. The business name or address can be permanently adhered or painted on glass windows provided that it takes up a maximum of 10 % of the glass to which it is adhered.
3. Clearly visible from the sidewalk.
4. Minimum of 6" in height.

Sec. 10-14032. BIG BOX

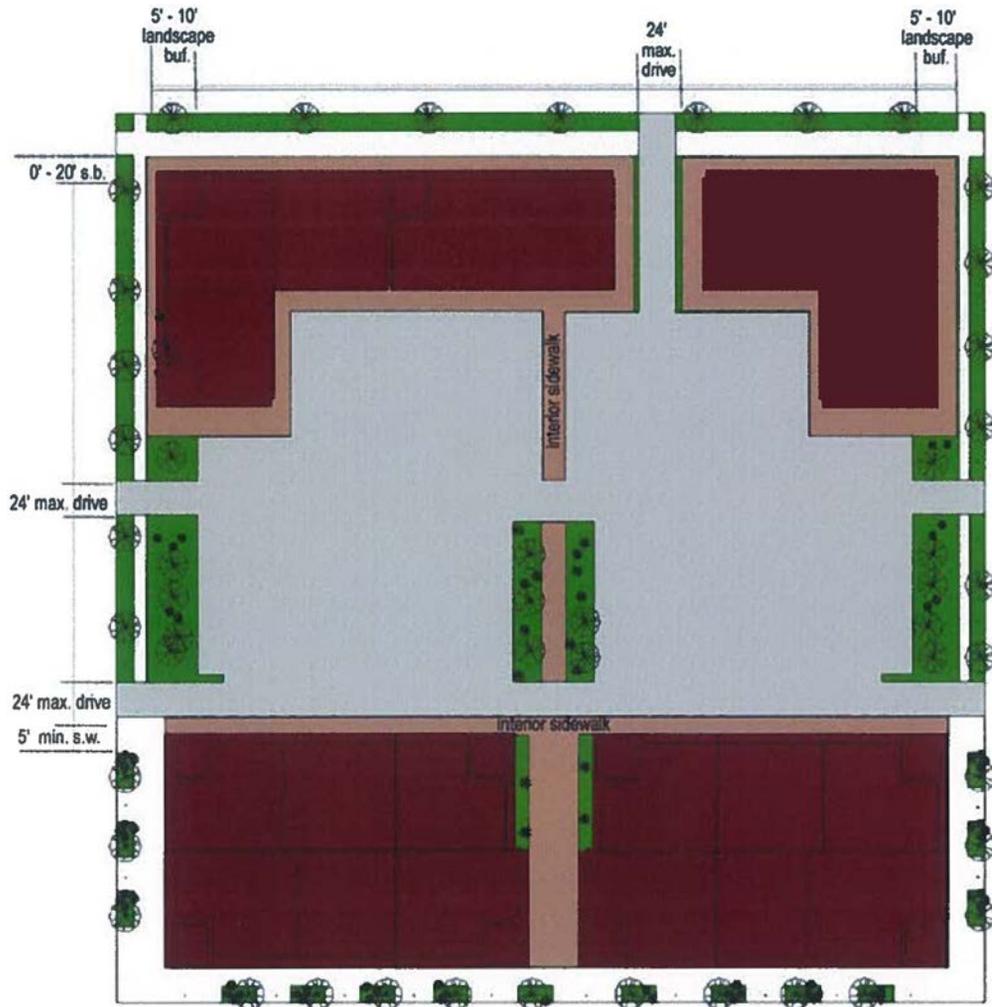
A. Site Guidelines

Purpose

"Big-box" retail can be defined as large-scale retailers, such as Wal-Mart, Kmart, Kroger, Target, Circuit City, or Home Depot, which occupy more than 50,000 square feet and derive their profits from high sales volumes. They may operate as stand-alone facilities, or more commonly they are located in a "power center." Because big box developments are of a larger scale, it is important that site requirements include adequate sidewalks, minimal setbacks, landscaping, screening, and buffering to enhance the pedestrian experience. The features and spaces should enhance the building and the center as integral parts of the community fabric. Pedestrian accessibility opens auto-oriented developments to the neighborhood, thereby reducing traffic impacts and enabling the development to project a friendlier, more inviting image.



Site Diagram: yard zones for big box development



Site Diagram: example site layout for big box development

Application

1. Within the development, pedestrian oriented public spaces and activities must be present.
2. Two of the following, at a minimum, shall be included for each development over 50,000 SF: patio/seating areas, pedestrian plaza with seating, kiosk areas, water features, clock towers, or other amenity that adequately enhances such community and public spaces. Any such areas shall have direct access to the public sidewalk network.
3. Entrances and parking lots should be configured to be functional and inviting with walkways conveniently tied to logical destinations.

4. Bus stops and drop-off/pick-up points should be considered as integral parts of the configuration.
5. The development may have smaller buildings at the street that screen interior parking.
6. Pedestrian ways should be anchored by special design features such as towers, arcades, porticos, pedestrian light fixtures, bollards, planter walls, and other architectural elements that define circulation ways and outdoor spaces.
7. If the structure is over one story, recessing upper stories is encouraged. Multiple stories and mixed-use is encouraged.
8. Alternative detention/retention treatments, such as permeable paving, water features, etc. are encouraged.
9. Parking reductions up to 20% or increases in building height up to 10' may be granted by the Department of Planning and Zoning for mixed-uses, the use of alternative detention/retention, and/or the provision of large greenspaces, parks, or conservation areas.

B. Sidewalks and Accessibility:

Purpose

Sidewalks ease pedestrian circulation to amenities and throughout the Cleveland Avenue corridor.

Application

1. Continuous clear zone of 10' as minimum.
2. Plant strip of 5' as minimum containing lighting and street trees.
3. Building Entrance connected to sidewalk.
4. Site must include interior sidewalk that serves parking lot and building.

C. Yard Setbacks:

Purpose

Generally referred to as supplemental zone, within private property. Provides an opportunity for a public zone for dining areas or outdoor plazas.

Application

1. Supplemental Zone/Front Yard 0' - 20'.
2. Side Yard setback 6'.
3. Rear Yard setback 6'.

4. No structures over 12" in width and 36" in height may be placed within the sight triangle.

D. Vias:

Purpose

Vias connect pedestrians to parking, site amenities, or other building entrances and can encourage outdoor activity on the site.

Application

1. Be visually connected to the buildings through store front windows and or entrances or restaurant seating.
2. May allow enough room for open air restaurant seating.
3. Use specially designed elements including paving, lighting, landscape and street furniture.

E. Landscaping:

Purpose

Landscaping enhances the experiential quality of the corridor by providing a balance of natural greenscape against building and hardscape elements. In addition, landscape can be used to define and improve the aesthetics of boundaries, gateways, entrances,

and special site features.

Application

1. 25% of site must be covered with greenscape or special permeable paving materials; however, impervious public plazas may count towards 5% of this requirement. Up to 30% of the greenspace requirement may be comprised of approved permeable paving materials.
2. Landscape should be designed so that 80% coverage occurs after five years.
3. Landscape design should include a variety of deciduous, evergreen trees, shrubs and flowering plant species well suited to the local climate.
4. Where feasible, existing healthy trees on the site of greater than 6" DBH should be incorporated into the required landscaping of the site.

F. Screening and Buffering:

Purpose

Screening and buffering maintains the attractiveness of the building while providing for its functionality.

Application

1. A 50' landscaped area must buffer buildings or parking adjacent to residential zones; areas of parking must also be screened with a privacy wall or fence (minimum 6' height) when adjacent to a residential use.
2. Areas for outdoor storage, truck parking, trash collection or compaction, loading, or other such uses shall not be visible from public or private rights-of-way and shall not be located within 20' of any public street, public, sidewalk or internal pedestrian walkways.
3. No chain link fencing.
4. Where parking abuts a street, a decorative masonry wall, evergreen hedge screen of 30" - 42" in height and a minimum of 12" in width shall be established in a 8' minimum planted buffer.

G. Parking: Application

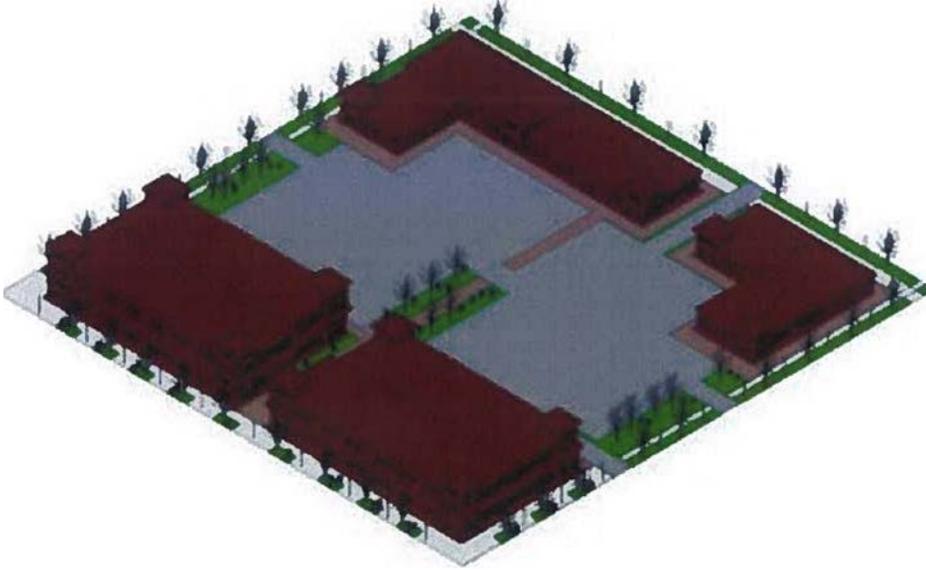
1. One (1) parking space per 300 square feet.
2. Parking must be to the side or rear of the primary elevation and must not break the plane of the primary elevation.
3. Parking decks and garages are permitted, but must use well designed architectural elements that are compatible with the adjacent structure on all elevations that face either public rights-of-way or other buildings. They should appear to be a horizontally storied building with active ground level uses.
4. A maximum of 4 parking spaces for every 1,000 SF of gross leasable area is permitted.
5. There shall be a pedestrian walkway which connects the surface parking lot to the public sidewalk.
6. Parking areas must be evenly lit and equal to one-half footcandle of light. In addition, there shall be no light spillage onto adjacent residential properties. Light fixtures must be fully shielded when adjacent to residential properties.
7. Light spillage onto adjacent residential properties shall be reduced by a cut-off luminaire with a maximum of ninety degrees illumination.
8. There shall be a continuous landscape buffer with a minimum of 8' between parking areas and the street. An 8' buffer shall be established where parking abuts other property lines.
9. Parking lots with 50 or more spaces shall be divided into separate areas with minimum 10' landscape strip. Walkways may cut through the landscaping.
10. One driveway for each development is permitted. Properties with more than one front yard which may have two driveways.
11. One large canopy tree and a planted median should be planted for every 7 parking spaces, within interior and perimeter planting areas.
12. A minimum of 7% of the parking lot must be landscaped.
13. One 2' x 6' minimum bicycle parking space per 20 parking spaces.

H. Building Guidelines

Purpose

Avoid monotonous expanses of large-scale development by providing guidelines that adhere to human scale.

No single one story building or series of interior connected buildings shall contain more than 100,000 sf. No two story building or series of interior connected buildings shall contain more than 150,000 sf.



Axonometric view of a Big-Box development

I. Entrances:

Purpose

The pedestrian entrance to the building shall portray the business identity while maintaining an inviting scale to the pedestrian. Multiple building entrances reduce walking distances from cars, facilitate pedestrian and bicycle access from public sidewalks, and provide convenience. Multiple entrances also mitigate the effect of the unbroken walls and neglected areas that often characterize building facades that face bordering land uses. Awnings or canopies may be used for this purpose.

Application

1. All sides of a principal building that directly face an abutting public or private right of way shall feature at least one customer entrance.

2. Where a principal building directly faces more than two abutting public or private rights-of-way, this requirement shall apply only to two sides of the building, including the side of the building facing the primary street, and another side of the building facing a secondary street.
3. Where additional stores will be located in the principal building, each such store shall have at least one exterior customer entrance, which shall conform to the above requirements.
4. Each principal building on a site shall have clearly defined, highly visible customer entrances featuring: canopies, porticos, overhangs, recesses/projections, arcades, raised corniced parapets over the door, peaked roof forms, arches

J.

Fenestration:

Purpose

The proportions and design of building openings are integral in connecting the building to the pedestrian. The windows should also be used for the business to communicate to the public with storefront displays that provide visual interest to the pedestrian.

Application

1. All retail buildings shall have a minimum of 75% glass on the ground level facing public rights-of-way. Any other ground level facade that is visible from the public right-of way shall have a minimum of 50%.
2. Windows should comprise from 25 % to 50 % of facades higher than ground level which are visible from public rights-of-way.
3. Traditional elements around windows are permitted such as balconies, shutters and sills.
4. No signage shall be adhered to the windows permanently or temporarily except the name of the business and street address.
5. The name and street address shall take up no more than 10% of the window to which it is adhered.

6. Opaque, smoked and reflective glass should be used for accents only.

K. Materials and Colors:

Purpose

Quality is an important element of construction. Substandard materials and craftsmanship are not permitted. The greatest amount architectural detail and interest shall be at the pedestrian level.

Application

1. High level of craftsmanship for all details and finishes.
2. Color should be architecturally appropriate and not detract from adjacent properties.
3. For storefront designs, attention shall be paid to the details of the window design in order to promote a connection to the pedestrian.
4. Predominant exterior building materials as well as accents shall not include the following: smooth face CMU, metal siding, vinyl siding. No stucco shall be used on the ground level. Administrative variances may be approved if materials are historically or contextually appropriate.

L. Scale and Massing:

Purpose

Attention to scale and massing is important when considering both the impact of the building from the street as well as the pedestrian experience at the sidewalk. Facades should be articulated to reduce the massive scale and the uniform, impersonal appearances of large retail buildings and provide visual interest that will be consistent with the community's identity, character, and scale. The resulting scale will ensure a greater likelihood of reuse of structure by subsequent tenants.

Application

1. No single building shall have a frontage of more than 200'. Frontages of more than 200' shall appear as two buildings connected with a bridge, arcade, or other similar

feature.

2. Developments with facade over 100' in linear length shall incorporate wall projections or recesses a minimum of 3' depth and a minimum of 20 contiguous feet within each 100' of facade length and shall extend over 20 % of the facade.
3. Developments shall use features such as arcades, display windows, entry areas, and awnings along at least 60 % of the facade.
4. When buildings are within 100' of a single-family residence, the building may be up to 35' in height.
5. Rooflines shall be varied with a change in height every 100 linear feet in the building length. Parapets, mansard roofs, gable roofs, hip roofs, or dormers shall be used to conceal flat roofs and rooftop equipment from public view.
6. Building facades shall include a repeating patterns of the following at intervals of no more than 30', either horizontally or vertically: color change; texture change; material module change; or expression of architectural or structural bay through a change in plane no less than 12" in width, such as an offset, reveal, or projecting rib.

M. Secondary Retail/ Mixed-Use:

Purpose

The presence of smaller retail stores or residential above ground level retail gives a center a "friendlier" appearance by creating variety, breaking up large expanses, and expanding the range of the site's activities. Windows and window displays of such stores should be used to contribute to the visual interest of exterior facades. The standards presented in this section are directed toward those situations where additional, smaller stores, with separate, exterior customer entrances are located in the principal buildings or development site. Additionally, residential uses can be incorporated into the development above smaller ground level retail uses.

Application

Where principal buildings contain additional, separately owned stores, which occupy less than fifty thousand (50,000) square feet of gross floor area, with separate, exterior customer entrances:

1. The street level facade of such stores shall be transparent between the height of 3' and 8'

above the walkway grade for no less than 60% of the horizontal length of the building facade of such additional stores.

2. Windows shall be recessed and should include visually prominent sills, shutters, or other such forms of framing.
3. Windows should comprise from 25% to 50% of facades higher than ground level which are visible from public rights-of-way.
4. All retail buildings shall have a minimum of 75% glass on the ground level.
5. Traditional elements around windows are permitted such as balconies, shutters and sills.
6. No signage shall be adhered to the windows permanently or temporarily except the name of the business and street address. The name and street address shall take up no more than 10% of the window to which it is adhered.
7. Opaque, smoked and reflective glass should be used for accents only.

N. Building Numbers:

Application

1. Above the primary elevation entrance.
2. Clearly visible from the sidewalk.
3. Minimum of 6" in height.
4. Creativity in the design of the number is encouraged.

ARTICLE D. HEADLAND DELOWE OVERLAY DISTRICT

Sec.10-14033. SCOPE OF PROVISIONS

The regulations set forth in this chapter, or set forth elsewhere in this part when referred to in this article, are the regulations for the Headland DeLowe Overlay District.

The regulations set forth in section 10-14033 through and including section 10-14051 shall apply to all properties located within the Headland DeLowe Overlay District.

Sec.10-14034. INTENT

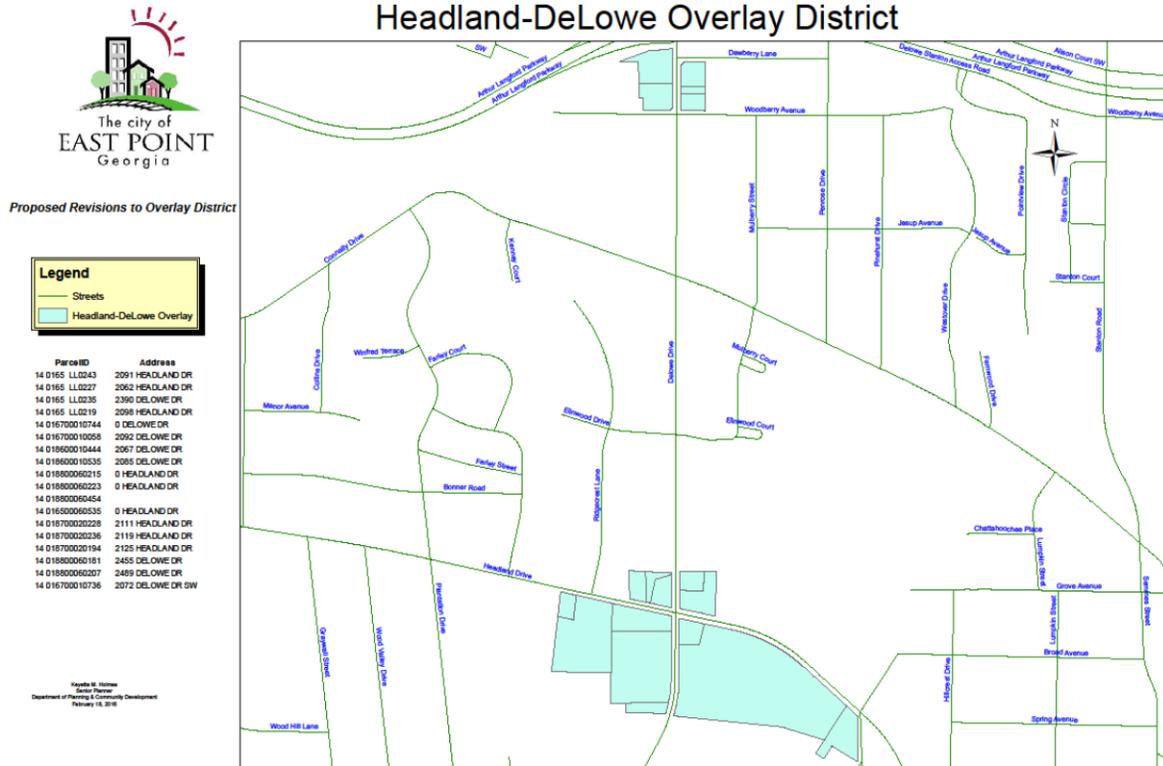
The intent of the City Council in establishing the Headland DeLowe Overlay District as a overlay district is as follows:

1. Create an urban environment where people can live, work, meet and play;
2. Improve aesthetics of the built environment;
3. Encourage a compatible mixture of residential, commercial, cultural and recreational uses;
4. Provide appropriately scaled, continuous pedestrian oriented uses and activities adjacent to sidewalks along streets with identified pedestrian needs;
5. Facilitate safe, pleasant and convenient pedestrian circulation and minimize conflict between pedestrians and vehicles;
6. Provide for development within this area that is compatible with existing low-density development with surrounding residential areas;
7. Prevent encroachment of incompatible commercial uses;
8. Ensure pedestrian -oriented building forms.

Sec.10-14035. BOUNDARIES OF DISTRICT

The Headland DeLowe Overlay district boundary is amended to include the following parcel ID numbers listed below and attached in Exhibit A (Headland DeLowe Overlay District Map):

EXHIBIT A



(Ord. No. 052-016, 03-21-2016)

Sec.10-14036. PERMITTED PRINCIPAL USE AND STRUCTURES

The following regulations are specific to the Headland DeLowe Overlay District.

1. Permitted principal uses:
 - a. Barber shops, beauty shops, manicure shops and similar personal service establishments.
 - i. No more than two such personal service establishments may locate within the established boundaries.
 - ii. Minimum square footage 1500 sq. ft.
 - b. Commercial recreational establishments, including bowling alleys, theaters, places of assembly and similar uses with primary activities conducted within fully

- enclosed buildings.
- c. Eating and drinking establishments.
 - i. No more than two establishments defined as fast casual or fast food may locate in the district.
 - ii. Alcohol service is only allowed in food service establishments 10,000 square feet or greater.
- d. Laundry and dry cleaning collection stations limited to no more than 2,500 square feet (cleaning is done offsite).
- e. Offices, studios, clinics (including veterinary), laboratories and similar uses, excluding:
 - i. Kennels
 - ii. Blood donor stations
- f. Offices, studios, clinics (including veterinary), laboratories and similar uses, excluding:
 - i. Kennels
 - ii. Blood donor stations
- g. Retail establishments.
 - i. The retail sale of malt beverages and wine is allowed in food stores with 20,000 sq. ft. or more gross leasable space.
- h. Sales and repair establishments for home appliances, bicycles, lawnmowers, clocks and similar household goods, with exception of motorized vehicles.
- i. Tailoring, custom dressmaking, and millinery
- j. No more than two gas stations
 - i. Dispensing of motor fuel is the primary use. Convenient offerings including limited variety of groceries household goods, and personal care items may be sold. The building may not exceed 1,500 sq. ft.
 - ii. Vehicle service, maintenance and repair is prohibited. (Ord. No. 052-016, 03-21-2016)

2. Prohibited Uses

- a. Convenience stores
- b. Package stores, providing retail malt beverages, wine and/or distilled spirits c. No more than two gas stations
- c. No use or manner of operation shall be permitted which is obnoxious or offensive by reason of odor, smoke, noise, glare, fumes, gas, vibration, unusual danger of fire or explosion or interference with radio or television communication, or is otherwise incompatible with the character of the district and its relation to adjoining districts.
- d. Pawn shops, payday loan and title loan offices are prohibited in this district.

- e. Sale of alcoholic beverages for on premise consumption except as provided in subsection l.c.ii
 - f. Any use not expressly permitted in Sec. 10-14036 (1) or (3).
3. Administrative or Special Use Permits
- a. Chapter 2, Article D of the East Point Zoning Code and Development Regulations should be consulted to determine uses and minimum standards for uses allowed by Administrative or Use Permit.

Sec. 10-14037. NONCONFORMING USES

If a lawful use of a structure, or of a structure and lot in combination, exists at the effective date of adoption of this ordinance or its subsequent amendment that would not be allowed under provisions of this Ordinance as adopted or amended, the use may be continued so long as it complies with other regulations, subject to the following conditions:

1. To avoid undue hardship, the lawful but nonconforming use of any structure or land at the time of the enactment of this Ordinance or any subsequent amendment may be continued even though the use does not conform to the provisions of this Ordinance, except that the nonconforming use:

- a. Shall not be changed to another nonconforming use.
- b. Shall not be reestablished after its removal from the property or its discontinuance for six months or more, unless the premises are under a continuing lease but are unoccupied by the nonconforming use, regardless of the intent of the owner or occupier to resume the nonconforming uses.
- c. Shall not be extended to occupy a greater area of land.
- d. Shall not be extended to occupy a greater area of a building or structure unless such additional area of the building or structure existed at the time of the passage or amendment of this Ordinance and was clearly designed to house the same use as the nonconforming use occupying the other portion of the building or structure. (Ord. No. 052-016, 03-21-2016)

Sec. 10-14038. REDEVELOPMENT REQUIREMENTS

Any property wherein twenty-five (25%) percent or greater of the principal building is removed, renovated or destroyed by any means shall be redeveloped in accordance with the requirements of this chapter and any paving or other accessory structural elements within any required transitional yard shall be removed and buffers provided as required herein. (Ord. No. 052-016, 03-21-2016)

All commercial sales and service shall be conducted within enclosed permanent structures and there shall be no unenclosed displays of merchandise with the exception of off-street parking and outdoor dining.

Sec. 10-14039. ARCHITECTURAL STANDARDS

On those facades of any structure that face a public street, the following regulations on building materials shall apply.

1. Visible foundation materials: Foundations shall constitute a distinct building design element that shall contrast with the front facade siding material. Brick, stone, concrete, stucco, and architectural concrete masonry units shall be permitted. Standard, unfinished concrete block and stacked stone is prohibited. A recognizable building base shall include, but shall not be limited to:
 - a. Thicker walls, ledges, or sills;
 - b. Integrally textured, colored or patterned materials; or
 - c. Raised planters which are integral to the building facade
2. Siding/veneer: Wood and cementitious siding, brick, hard stucco and stone shall be permitted. Synthetic stone, such as pre-manufactured fiberglass, cultured stone, or glass-fiber reinforced concrete is permitted, provided it is identical in appearance and equal or greater durability to natural stone.
3. At least fifty-one percent (51%) of the total exterior wall area of each building elevation, excluding gables, windows, doors and related trim, shall be brick, stone, cast stone, integrally-colored split-face block, concrete, stucco, wood, or architectural concrete masonry units.
4. A vertical change of materials shall occur at an interior corner or shall occur within four (4) feet of an exterior corner.
5. Stone and brick used on exterior walls shall not terminate at the exterior corners.
6. Openings in a brick or stone facade shall have a stone lintel, a stone or brick arch, or a brick soldier course.
7. A vertical change of materials from stone or brick to another material shall occur at an interior corner or shall not occur within four (4) feet of an exterior corner.
8. A horizontal change of material from brick or stone to another material shall include a stone cap or a brick sill; the cap or sill shall project from the face of the building.
9. Color schemes shall tie building elements together, relate separate outparcels within the same development, and enhance the architectural for of a building. Facade color must be low-reflecting subtle. Intense, bright or fluorescent colors are prohibited.
10. All building accessories, including, but not limited to, meters, flues, vents, gutters, and utilities shall match or complement in color the permanent color of the surface from which they project.

11. Any facade exceeding thirty (30) feet in length shall include at least one change in wall plane, such as projections or recesses, having a depth of at least three percent (3%) of the entire length of the facade; this projection or recess shall extend over at least twenty percent (20%) of the entire length of the facade.
12. Buildings larger than fifty thousand (50,000) square feet shall include both pitched and flat roofs with parapets.
13. All building facades shall consist of vertical building bays that are a maximum of thirty (30) feet in width. The edges of each bay shall be defined by a vertical architectural feature that projects or recesses from the wall plane a minimum of eight (8) inches.
14. Columns, pilasters, piers, vertical changes in wall planes, or vertical changes in texture or material shall be considered vertical architectural features.
15. A recognizable building top shall include, but shall not be limited to:
 - a. Cornice treatments, other than just colored "stripes" or "bands," with integrally textured materials such as stone or other masonry or differently colored materials.
 - b. Sloping roofs with eaves and bracket
16. Building walls shall be subdivided and proportioned using features such as windows, entrances, storefronts, arcades, arbors, awnings, trellises, or other similarly-scaled architectural details. These features shall cover at least ninety percent (90%) of the building front wall length and at least sixty percent (60%) of other building wall lengths. The full width of each vertical building bay that contains the previously-listed details shall be counted towards the minimum length of the building that must contain these details.
17. All flat roofs shall have a parapet and a cornice on all facades or walls. Flashing at the top of a parapet shall not qualify as a cornice. Cornices shall be in proportion with the size, scale, and architectural detailing of the building.
18. The height of a parapet shall be in proportion with the size, scale, and architectural detailing of the building and generally shall not exceed ten (10) feet in height.
19. Parapets shall be the primary method of screening roof-top mechanical equipment.
20. Flat roofs projecting from a street-facing facade or active wall shall include a cornice; this cornice shall return back to a wall or roof or generally shall return eight (8) feet or it shall be continuous around the entire projection.
21. A parapet more than ninety (90) feet in length shall include a change in parapet height or pitched roof height at least every ninety (90) feet. This change in height shall align with the vertical building bays. Buildings larger than fifty thousand (50,000) square feet shall include both pitched and flat roofs with parapets.
22. Pitched roofs shall be gable, hip, or shed configurations with overhanging eaves.
23. Pitched roofs shall have a minimum slope of four (4) feet vertical rise for every twelve (12) feet of horizontal run; the maximum slope is limited to one (1) foot vertical rise for

- every one (1) foot of horizontal run.
24. A pitched roof more than ninety (90) feet in length shall include a change in parapet height or pitched roof height at least every ninety (90) feet. This change in height shall align with the vertical building bays. Buildings larger than fifty thousand (50,000) square feet shall include both pitched and flat roofs with parapets.
 25. Continuous pitched rooflines greater than ninety (90) feet in length shall include roof elements that align with the vertical building bays and roof modulation. Roof elements shall include, but shall not be limited to dormers, stepped roofs, gables, or other roof elements that add significant visual relief to the roof line.
 26. Exposed gutters are prohibited for use with flat roofs.
 27. Exposed downspouts shall only be allowed at interior corners.
 28. Parapets and cornices shall be continuous above a scupper.
 29. Gutters and downspouts shall be constructed of high quality, commercial grade metal.
 30. Buildings larger than fifty thousand (50,000) square feet shall provide at least two (2) customer or public entrances.
 31. Buildings larger than fifty thousand (50,000) square feet shall orient customer or public entrances toward a public street.
 32. Each building on site, regardless of size, shall have clearly-defined, high-visible customer entrances featuring no less than three (3) of the following:
 - a. Awnings
 - b. Overhangs
 - c. Recesses/projections
 - d. Arcades
 - e. Raised cornice parapets over the door
 - f. Peak roof forms
 - g. Arches
 - h. Outdoor patios
 - i. Display windows
 - j. Architectural detail such as tile work and moldings integrated into the building structure and design; or
 - k. Integral planters or wing walls that incorporate landscaped areas and/or places for sitting
 33. All stairwells, corridors, and other circulation components of the building shall be completely enclosed within the building envelope.
 34. Window panes shall be vertically proportioned.
 35. Window openings on brick, stone, cast stone, or synthetic stone buildings shall not be trimmed. Lintels, sills, and arches are not considered trim. Window openings without

- trim or moulding shall have window frames at least two (2) inches wide when looking at the finished facade of the building.
36. Windows located above the ground floor shall align with the ground floor windows, ground floor doors, and the building modulation.
 37. The light source for display windows shall not be visible from the exterior of the building.
 38. Awnings shall be no longer than a single storefront.
 39. The bottom of the awning shall not be higher than the top of the windows. The bottom of the awning shall be generally no higher than nine (9) feet above the average exterior grade.
 40. Awnings shall fit the character and design of the building and be pedestrian-scaled. Awnings for rectangular openings shall be simple, shed shapes.
 41. Awnings shall be constructed of fabric or glass. Fabric awnings are encouraged; canvas awnings with a matte finish are preferred. Awnings with high gloss finish are discouraged. Illuminated, plastic awnings are prohibited. Burglar bars, steel gates and steel-roll sown curtains are prohibited on the exterior and interior of a structure except at the structure's rear. Burglar bars are prohibited on the rear if visible from a public street.
 42. Awning colors shall be compatible with the overall color scheme of the facade from which it projects. Solid colors or subtle striped patterns are preferred.
 43. Backlit awnings are prohibited.
 44. Building-mounted lighting may be used only to highlight specific architectural features or primary customer or building entrances. General floodlighting of building facades is not permitted.

Sec. 10-14040. TRANSITIONAL USE AND YARDS

Adjoining lot with same frontage. Where a lot in this district abuts any residential district at the side along the same street frontage, and without an intervening street, such lot within this district, shall not be used for any drive-through service window or drive-in facility.

Transitional yards. Where this district adjoins a residential district, a minimum twenty (20) feet is required which shall not be used for the purpose of parking, paving, loading, servicing or any other activity. Such yards shall be maintained as a landscaped strip.

Screening. In addition to the above transitional yard requirements, permanent opaque walls six feet in height shall be provided and shall be maintained in a sightly condition.

Sec. 10-14041. SIDEWALKS

Public sidewalks shall be located along all public streets and shall have minimum widths as

specified herein. No sidewalk shall be less than 15 feet in width. Sidewalks shall consist of two zones: 1.) a street furniture and tree planting zone; and 2.) a clear zone.

1. Street furniture and tree planting zone requirements. The street furniture and tree planting zone shall have a minimum width of five (5) feet. Said zone shall be located immediately adjacent to the curb and shall be continuous. Said zone shall meet the tree planting requirements of 10-14041(3). In addition to the required planting of trees, this zone may also be used for the placement of street furniture, waste receptacles, fire hydrants, traffic signs, newspaper vending boxes, bus shelters, bicycle racks and similar elements in a manner that does not obstruct pedestrian access or motorist visibility.
2. Clear zone requirements. The clear zone shall be a minimum width often (10) feet. Said zone shall be located immediately contiguous to the street furniture and tree planting zone and shall be continuous. Said zone shall be hardscape, and shall be unobstructed for minimum width of ten feet, by any permanent or nonpermanent element.
3. Street tree planting requirements. Street trees are required and shall be planted in the ground a maximum of forty (40) feet on center within the street furniture and tree planting zone and spaced equal distance between street lights. All newly planted trees shall be a minimum of twelve (12) feet in height, shall have a minimum mature height of forty (40) feet, and shall be limbed up to a minimum height of seven (7) feet. All plantings, planting replacements and planting removal must be submitted by a certified arborist. The area between required plantings shall either be planted with evergreen ground cover such as mondo grass or *Liriope spicata*.
4. Paving. All paving within the street furniture and tree planting zone shall utilize six inch by six inch pavers and shall be brick or concrete.
5. Nothing shall be erected, placed, planted or allowed to grow in such a manner as to impede visibility within visibility triangles at street intersections.
6. No awning or canopy shall encroach into the street furniture and tree planting zone.
7. Decorative pedestrian lights, where installed, shall be placed a maximum of forty (40) feet on center and spaced equal distance between required trees along all streets. Where installed, said lights shall be located within the street furniture and tree planting zone. All said lights shall be McGraw-Edison Luminiere Generation Cutoff (GAT-C) in black Pedestrian Light- 12'.
8. All utilities shall be placed underground to allow for unobstructed use of sidewalks.
9. Trash receptacles or similar elements, where installed, shall be Ashebrooke in Raven BRP Enterprises.

Sec.10-14042. RELATIONSHIP OF BUILDING TO STREET

1. For the purposes of this chapter, sidewalk-level shall be defined as any floor of a building with a finished-floor elevation less than or equal to five feet above the adjacent sidewalk or less than or equal to five feet below the adjacent sidewalk.
2. Building floors shall be delineated at third story above sidewalk level and lower and shall be executed through windows, belt courses, cornice lines or similar architectural detailing.
3. The primary pedestrian entrance for pedestrians to access sidewalk level uses and business establishments with street frontage:
 - a. Shall face and be visible from the street.
 - b. Shall be directly accessible and visible from the sidewalk.
 - c. Shall remain unlocked during business hours

Sec.10-14043. SIGNS

Signage shall be in accordance with Chapter 7 Signs if the East Point Zoning Code and Development Regulations.

Sec.10-14044. LIGHTING AND STOREFRONT ILLUMINATION

1. All lighting shall reduce spillage onto residentially used properties by providing cutoff luminaries which have a maximum 90-degree illumination.
2. All lighting that up-lights trees, buildings or other elements, shall be located a minimum height of eight feet above the sidewalk, driveway or pedestrian area when not located within completely landscaped areas.

Sec. 10-14045. LOADING AREAS, LOADING DOCK ENTRANCES AND BUILDING MECHANICAL AND ACCESSORY FEATURES

1. Loading areas. Dumpsters and loading areas shall be screened so as not to be visible from ground level or sidewalk level outdoor dining area, public sidewalk or public right-of-way. In addition, dumpsters and loading dock areas shall be enclosed with opaque walls six feet in height.
2. Building mechanical and accessory features:
 - a. Shall be located to the side or rear of the principal structure and shall be in the location of least visibility from the public right-of-way. Screening with plant or

fence materials shall be required if the equipment is visible from the public right-of-way.

- b. When located on rooftops shall be incorporated in the design of the building and screened with building materials similar to the building.
- c. Shall not be permitted between the building and the public street.

Sec.10-14046. CURB CUTS

- 1. All sidewalk paving materials shall be continued across any intervening driveway.
- 2. Driveways shall have a band of textured concrete adjacent to the street which is in-line with and equal in width to the street furniture zone and shall have a textured band of concrete adjacent to the sidewalk.
- 3. No more than one curb cut shall be permitted for each development, provided that developments with more than one street frontage may have two curb cuts.
- 4. Driveways and curb cuts shall be limited to one-way entrances a width of twelve (12) feet or two-way entrances a width of twenty-four (24) feet.
- 5. No circular drives shall be located between any building and any public street.

Sec. 10-14047. LIGHTING, SECURITY, AND MAINTENANCE REQUIREMENTS FOR SURFACE PARKING LOTS

Lighting shall be provided at all points throughout all parking facilities to equal a minimum of one-half foot candle of light. A footcandle of light is a uniformly distributed flux of one lumen on a surface of one square foot in area. Illumination levels at any point across the parking lot must not be greater than 6.0 foot-candles in the horizontal plane, and must not exceed 0.5 vertical foot-candles. Where applicable, public street lighting may be utilized to either partially or totally fulfill the lighting requirements; however, where such street lighting is removed, it shall be the responsibility of the parking facility to independently provide these required levels of illumination.

Sec. 10-14048. MINIMUM LANDSCAPING FOR SURFACE PARKING LOTS, BARRIER REQUIREMENTS

- 1. All required landscaped areas shall be planted with evergreen groundcover or shrubs with a maximum height of thirty (30) inches; and
- 2. Landscaped buffer strips along sidewalks and public rights-of-way shall have a minimum of one (1) tree with a minimum caliper of two and one-half inches.

Sec.10-14049. OFF-STREET PARKING REQUIREMENTS

In addition to the provisions of Chapter 2, Article E, which shall apply, the following parking

requirements shall apply to all uses.

1. One (1) parking lot landscape island shall be provided for every ten (10) parking spaces on site. Said landscape area shall be a minimum of ten (10) feet in width and extend the length of the parking space. Such islands may be combined to form larger islands or public open spaces.
2. A landscape island, minimum ten (10) foot in width and extending the length of the parking field shall be provided for every fifth row of parking.
3. Off-street surface parking.
 - a. Shall not be located between the building and the street without an intervening building.
4. Shared parking is encouraged according to the following provisions:
 - a. The applicant has established a valid shared parking arrangement. Said shared parking spaces shall be clearly marked and signed as reserved during specified hours. An applicant shall submit the following information establishing conformance to the above criteria in order to share or transfer parking requirements and avoid conflicting parking demands:
 - i. A to-scale map indicating location of all proposed parking spaces;
 - ii. Indicate hours of business operation(s);
 - iii. Written consent of all property owners agreeing to the shared or off-site parking arrangement;
 - iv. Copies of parking leases for shared arrangements. Renewed leases shall be provided to the Department of Planning & Zoning.

Sec.10-14050. SPECIFIC REGULATIONS FOR STOREFRONT STREETS

1. Street-fronting buildings including parking decks shall meet the following sidewalk level requirements:
 - a. The length of facade without intervening fenestration or entryway shall not exceed twenty (20) feet.
 - b. Fenestration shall be provided for a minimum of sixty-five (65) percent of the length of the frontage:

- i. Beginning at a point not more than three (3) feet above the sidewalk, to a height no less than ten (10) feet above the sidewalk.
 - c. Fenestration shall not utilize painted glass, reflective glass or other similarly treated opaque windows. Entrances may be counted towards fenestration requirements.
- 2. Minimum building facade height: Twenty-four (24) feet along each facade visible from the public right-of-way.

Sec.10-14051. VARIANCE

To apply for relief from any requirements in this ordinance, the property owner, or his or her representatives, may file for a variance with the Planning and Zoning Commission. That variance shall be considered in conformance with the procedures and standards contained in the City Code Part 10, Planning and Zoning, Chapter 2, Article I, APPEALS.

Sec.10-14052. SEVERABILITY

In the event that any section, subsection, sentence, clause or phrase of this Article shall be declared or adjudged invalid or unconstitutional, such adjudication shall in no manner affect the sections, subsections, sentences, clauses or phrases of this Article, which shall remain in full force and effect, as if the section, subsection, sentence, clause, or phrase so declared or adjudged invalid or unconstitutional were not originally a part thereof.